

From: gnelson@ci.orono.mn.us
Sent: 02/17/2023 - 01:31 PM
To: jesherman@dwhomes.com,lhamling@dwhomes.com
CC: gnelson@ci.orono.mn.us
Subject: Inspection Report Individual



CITY OF ORONO
2750 KELLEY PARKWAY
ORONO, MN 55356
PH: (952) 249-4600
FAX: (952) 249-4616

Inspection Report

617 Blossom Circle

Permit Number: RPS22-000040
Site Address: 617 Blossom Circle, Orono, MN 00000
Property Owner:
Description: New 5 unit town home

Inspection Date: 02/17/2023
Inspection Type: Building Final
Inspection Results: **Permit Finaled**

Sincerely,

Gary Nelson
952-242-4442

To schedule your inspections please call: (952) 249-4600

CODE REQUIREMENTS ARE FOR YOUR PERSONAL HEALTH AND SAFETY!

AS-BUILT ELEVATIONS:

LOTS 1, 2, & 3
TOP OF FOUNDATION / SOG = 1023.4
GARAGE FLOOR 1 STEP = 1022.3
GARAGE TO BE RAISE .30 AFTER FINAL POUR

LOTS 4 & 5
TOP OF FOUNDATION / SOG = 1023.4
GARAGE FLOOR = 1022.7
GARAGE TO BE RAISE .30 AFTER FINAL POUR

FOUNDATION AS-BUILT FOR:
DAVID WEEKLEY HOMES

12900 Whitewater Drive, Suite 180
Minnetonka, MN 55343

DAVID WEEKLEY HOMES PLAN:

B763 - "BRINLEY"
-SLAB ON GRADE-
(ELEV. A)
PLAN DATE: 10/26/2021

B764 - "HALL"
-SLAB ON GRADE-
(ELEV. A)
PLAN DATE: 10/26/2021

B764 - "HALL"
-SLAB ON GRADE-
(ELEV. B)
PLAN DATE: 10/26/2021

LEGAL DESCRIPTION

LOTS 1, 2, 3, 4, & 5, BLOCK 4,
ORONO CROSSINGS, ORONO, MINNESOTA.

ADDRESS:

605, 609, 613, 617, & 621
BLOSSOM CIRCLE

LOT AREA:

LOT 1- 605 BLOSSOM CIRCLE
LOT AREA = 2,019 SQ. FT. OR 0.046 ACRES
IMPERVIOUS AREA = 1,375 SQ. FT. (68%)
BUILDING FOOTPRINT AREA = 1,155 SQ. FT.
DRIVEWAY = 192 SQ. FT.
COVERED PORCH = 10 SQ. FT.
CONCRETE PAD = 18 SQ. FT.

LOT 2 - 609 BLOSSOM CIRCLE
LOT AREA = 1,641 SQ. FT. OR 0.038 ACRES
IMPERVIOUS AREA = 1,345 SQ. FT. (82%)
BUILDING FOOTPRINT AREA = 1,139 SQ. FT.
DRIVEWAY = 195 SQ. FT.
COVERED PORCH = 11 SQ. FT.

LOT 3 - 613 BLOSSOM CIRCLE
LOT AREA = 1,565 SQ. FT. OR 0.035 ACRES
IMPERVIOUS AREA = 1,393 SQ. FT. (89%)
BUILDING FOOTPRINT AREA = 1,139 SQ. FT.
DRIVEWAY = 240 SQ. FT.
COVERED PORCH = 14 SQ. FT.

LOT 4 - 617 BLOSSOM CIRCLE
LOT AREA = 1,540 SQ. FT. OR 0.035 ACRES
IMPERVIOUS AREA = 1,420 SQ. FT. (92%)
BUILDING FOOTPRINT AREA = 1,139 SQ. FT.
DRIVEWAY = 267 SQ. FT.
COVERED PORCH = 14 SQ. FT.

LOT 5 - 621 BLOSSOM CIRCLE
LOT AREA = 1,890 SQ. FT. OR 0.043 ACRES
IMPERVIOUS AREA = 1,461 SQ. FT. (77%)
BUILDING FOOTPRINT AREA = 1,155 SQ. FT.
DRIVEWAY = 275 SQ. FT.
COVERED PORCH = 13 SQ. FT.
CONCRETE PAD = 18 SQ. FT.

NOTES:

1. SURVEY PREPARED FROM ALLIANT ENGINEERING, GRADING PLAN DATED NOVEMBER 10, 2021.
2. BEARINGS ARE ASSUMED PER PLAT.
3. BUILDING DIMENSIONS SHOWN ARE BASED ON FIRST FLOOR ARCHITECTURAL PLANS. ALL DIMENSIONS AND LOCATIONS ARE TO BE VERIFIED IN THE FIELD WITH THE ARCHITECTURAL PLANS.

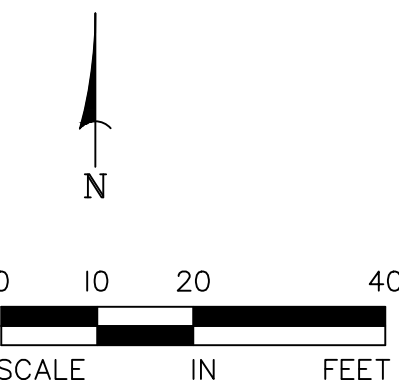
PROPOSED ELEVATIONS:

LOTS 1, 2, & 3
TOP OF FOUNDATION / SOG = 1023.4
GARAGE FLOOR 1 STEP = 1022.3
REAR = 1022.7

LOTS 4 & 5
TOP OF FOUNDATION / SOG = 1023.4
GARAGE FLOOR = 1023.0
REAR = 1022.7

LEGEND:

- 934.0 EXISTING ELEVATION
934.0 PROPOSED ELEVATION
DIRECTION OF DRAINAGE
CS CURB STOP
EOF EMERGENCY OVERFLOW
LFE LOWEST POSSIBLE FLOOR
TW TOP OF WALL
TC TOP OF CURB
E ELECTRIC BOX
T TELEPHONE BOX
C CABLE TV BOX
O SET CAP IRON MONUMENT 44110
(P) PROPOSED ELEVATION
900 PROPOSED CONTOURS
WETLAND MONUMENT
BUILDING PAD



David Weekley Job #: 33-37	Date Staked: 6/15/22	I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota. PETER GOERS Print Name Signature JUNE 16, 2022 Date
Alliant Job # 20-0101	Checked By: PG	
Field Crew: CE	Drawn By: TL	

ORONO CROSSINGS

LOTS 1, 2, 3, 4, & 5, BLOCK 4

ORONO, MINNESOTA

Alliant Engineering, Inc.
733 Marquette Ave, Ste 700
Minneapolis, MN 55402
612.758.3080 MAIN
612.758.3099 FAX
www.alliant-inc.com

City of Orono

CERTIFICATE OF OCCUPANCY

This certificate is issued pursuant to the requirements of 1300.0220 of the 2020 Minnesota Building Code verifying that at the time of issuance this structure was in compliance with the various ordinances of the local jurisdiction regulating building construction or use. For the following:

Building Address: 617 Blossom Circle Orono, MN 55356
PIN: 3311823110170
Lot/Block: /
Zoning District:
Permit Number: RPS22-000040
Construction Type: VB Residential
Occupancy Group: IRC-3
Fire Sprinkler:
Owner Name: David Weekley Homes
Owner Address: 12900 Whitewater Drive Suite 180 Minnetonka MN 55343

FOR YOUR INFORMATION

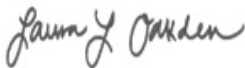
For any police, fire or medical emergency - Call: 911

In purchasing a new home, file for your homestead at Hennepin County offices. Register your address for voting, driver's license, and automobile registration. City Water and Sewer is billed monthly.

Septic inspection fees are billed annually. Permits are required for any additions or alterations on your property including garages, decks, patios or other accessory structure.

Special regulations prohibit any excavation, filling, grading, dredging, tree removal, or construction of any kind within 75 feet of any lakeshore or within 25 feet of any wetlands.

Please Note: The property owner is responsible for all Legal/Engineering charges resulting from this project. Due to varying billing cycles, bills may be mailed up to 90 days after the issuance of this Certificate of Occupancy



October 25, 2023

LAURA OAKDEN
ZONING ADMINISTRATOR



October 25, 2023

NICOLE EGAN
BUILDING OFFICIAL

