



# CITY of ORONO

RESOLUTION OF THE CITY COUNCIL  
NO. 5613

**A RESOLUTION GRANTING  
GENERAL DEVELOPMENT PLAN APPROVAL  
FOR PLANNED UNIT DEVELOPMENT NO. 2C  
FOR AMBER WOODS OFFICE CENTRE LLC  
AND APPROVING THE FINAL PLAT OF  
AMBER WOODS OFFICE CENTRE  
AND VACATING EXISTING  
DRAINAGE & UTILITY EASEMENTS  
FILE #07-3250**

**WHEREAS**, the City of Orono is a municipal corporation organized and existing under the laws of the State of Minnesota; and

**WHEREAS**, the City Council of the City of Orono (hereinafter "City Council") has adopted subdivision and land development regulations for the orderly, economic and safe development of land within the City; and

**WHEREAS**, the City Council has considered the application by Amber Woods Office Center LLC, a Minnesota corporation, (hereinafter the "Applicant") for subdivision and development by the Planned Unit Development process of property located at 2060 Wayzata Boulevard West and legally described as follows:

Lot 1, Block 1, Orono Ambar, Hennepin County, Minnesota  
(hereinafter the "Property"); and

**WHEREAS**, on March 12, 2007 the City Council adopted Resolution No. 5585 granting General Concept Plan Approval for Planned Unit Development No. 2C, and on March 26, 2007 the City Council adopted Resolution No. 5592 granting Preliminary Plat Approval for the plat of Amber Woods Office Centre, which approvals include the following elements:

1. Subdivision platting of Lot 1, Block 1, Orono Ambar to create five (5) building lots and one (1) common lot to be known as AMBER WOODS OFFICE CENTRE;
2. Commercial site plan approval and conditions for proposed development of office condominiums;
3. Vacation of existing easements; and



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**WHEREAS**, the Applicant has agreed to execute Planned Unit Development No. 2C Agreement and Development Contract providing for the installation of certain improvements as a condition of site plan approval for the construction of office condominiums on the Property, and which agreement documents the general and detailed conditions for use and development of the Property and replaces previously approved PUD Agreement No 2A; and

**WHEREAS**, the Applicant has agreed to execute cross ingress and egress easements through the Property and through the adjacent Orono Senior Housing property with the City of Orono Housing and Redevelopment Authority, to allow for future vehicular connections at the northwestern corner of the Property for a future frontage road to Outlot D, Sugarwoods, and to the adjacent parcel at 2120 Wayzata Boulevard West; and

**WHEREAS**, the Applicant has completed or has agreed to complete all other requirements of the platting regulations of the City including:

1. Completion of all platting requirements of Concept Plan Approval Resolution No. 5585.
2. Dedication on the plat of a Drainage and Utility Easement over entire Lot 6 (otherwise known as the common lot).
3. Submittal of Minnehaha Creek Watershed District (MCWD) permit approving the grading and stormwater management facilities plan for development of the Property as proposed per the "Removal Plan", sheet C1-2; the "Grading & Drainage Plan West", sheet C3-1; the "Grading, Drainage & SWPP Plan (East)", sheet C3-2; the Storm Water Pollution Prevention Plan, Sheet C3-3; and the "Utility Plan" sheet 4-1; all subject to review and final approval by the City Engineer.
4. Payment to the City of the Stormwater and Drainage Trunk Fee for the development of the Property in the amount of \$19,302.84 based on a Trunk Fee of \$7,320 per acre and gross acreage of Property at 114,868 s.f. or 2.637 acres including portions subject to trail and sidewalk easements.
5. Payment to the City for the legal review and filing of the plat documents, agreements, easements and covenants in the amount of \$280.00 plus incurred review and filing costs.
6. Payment of the final plat review fee in the amount of \$250.00 plus incurred legal and engineering charges.



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7. Provision to the City of a title opinion for the Property and certified copies of all recorded easements currently affecting the Property.

**WHEREAS**, City staff and consultants have reviewed the plans for this PUD and subdivision application and hereby specify approval of each **attached** plan and identify them as part of the official record for Planned Unit Development No. 2C:

- A. Final Plat
- B. Cover sheet C0-1 dated 4-2-07
- C. Existing Conditions sheet C1-1 dated 4-2-07
- D. Removals & Erosion Control Plan sheet C1-2 dated 4-2-07
- E. Site Plan sheet C2-1 dated 4-2-07
- F. Grading & Drainage Plan West sheet C3-1 dated 4-2-07
- G. Grading/Drainage/SWPPP Plan East (pond revisions) sheet C3-2 dated 4-2-07
- H. Stormwater Pollution Prevention Plan SWPPP sheet C3-3 dated 4-2-07
- I. Utility Plan sheet C4-1 dated 4-18-07
- J. Sanitary Sewer Plan and Profile sheet C4-2 dated 4-13-07
- K. Detail Sheet C8-1 dated 4-18-07
- L. Landscape Plan sheet L1-1 dated 4-13-07
- M. Lighting Plan sheet L2-1 (undated)
- N. Monument Sign Plan sheet dated 1-15-07
- O. Dumpster Enclosure Plan sheet dated 1-12-07
- P. Retaining Wall Plan sheets 1 thru 10 by Civil Solutions Group LLC dated 3-30-07
- Q. Building Plans Cover sheet TS-1
- R. Lower Walkout Level Floor Plan sheet A-1
- S. Main Level Floor Plan sheet A-2
- T. Loft Level Plan sheet A-3
- U. Front Elevation sheet A-4
- V. Walk-Out Elevation sheet A-5
- W. Side Elevation sheet A-6
- X. Side Elevation sheet A-7



# CITY of ORONO

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NO. 5613

**NOW, THEREFORE, BE IT RESOLVED** that based on the findings of Resolution No. 5585 and Resolution No. 5592, the City Council of the City of Orono does hereby approve the plat of AMBER WOODS OFFICE CENTRE, Hennepin County, Minnesota and grants General Development Plan Approval for Planned Unit Development No. 2C, subject to the following conditions:

1. General Development Plan Approval and Final Plat approval and Commercial Site Plan approval is granted subject to conditions established within Resolutions No. 5585 and 5592, and subject to the conditions established within the Planned Unit Development No. 2C Agreement and Development Contract and other pertinent documents.
2. Final building design plans for the buildings shall be subject to City Council review and approval prior to issuance of permits for said buildings should the Planning Director find that there are discrepancies between those attached to this Resolution and those submitted for building permit. Building permits and land alteration permits will not be issued any sooner than 24 hours following filing of the plat with Hennepin County.
3. The aforesaid plat shall be filed with the Hennepin County Registrar of Titles Office on or before November 14, 2007 together with a certified original copy of this resolution and executed copies of the agreements, easements, and covenants pertinent thereto.

**FURTHER, BE IT RESOLVED** that the City Council hereby declares that the easements dedicated over the Property in accordance with development of Lot 2, Block 1, Orono Ambar, Hennepin County, Minnesota, shall be vacated upon filing of this Resolution and Developer's Agreement No. 2C with the Hennepin County Registrar of Titles Office.

The approval granted by this Resolution shall expire if the plat has not been filed by the date specified above. In that event, it will be necessary to file a new application with the City of Orono for subdivision review.



# CITY of ORONO

RESOLUTION OF THE CITY COUNCIL

NO. 5613

Adopted by the City Council of Orono this 14th day of May, 2007.

ATTEST:

Linda S. Vee  
Linda S. Vee, City Clerk

James M. White  
James M. White, Mayor

STATE OF MINNESOTA  
COUNTY OF HENNEPIN

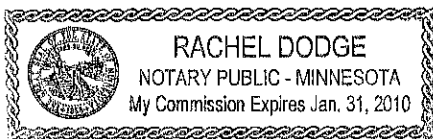
The foregoing instrument was acknowledged before me on this 14<sup>th</sup> day of May, 2007 by James M. White, Mayor of the City of Orono, a Minnesota municipal corporation and said instrument was executed on behalf of the City.



Rachel Dodge  
Notary Public

STATE OF MINNESOTA  
COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me on this 17<sup>th</sup> day of May, 2007 by Linda S. Vee, City Clerk of the City of Orono, a Minnesota municipal corporation and said instrument was executed on behalf of the City.

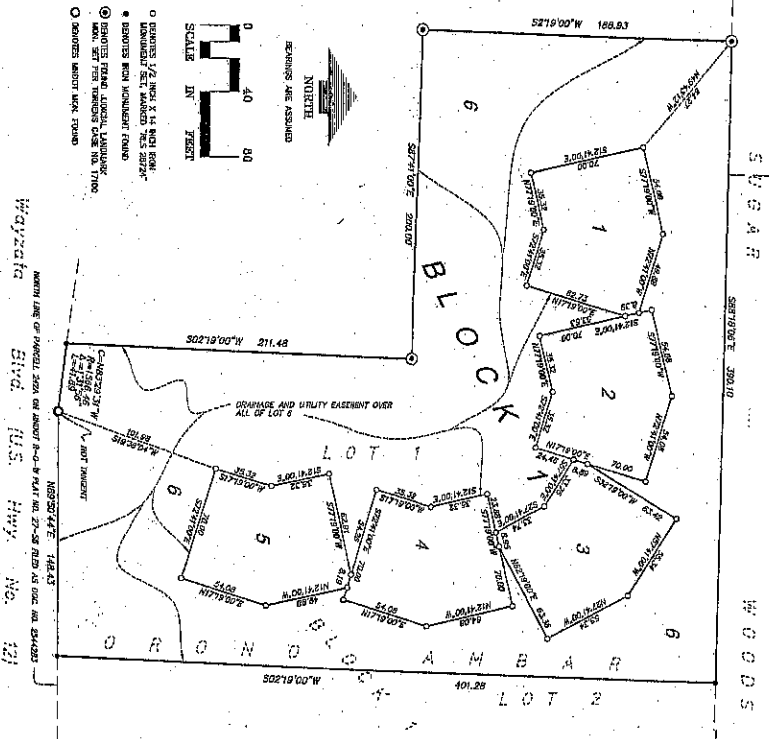


Rachel Dodge  
Notary Public

## ATTACHMENT: APPROVED DEVELOPMENT PLANS

- A. Final Plat
- B. Cover sheet C0-1 dated 4-2-07
- C. Existing Conditions sheet C1-1 dated 4-2-07
- D. Removals & Erosion Control Plan sheet C1-2 dated 4-2-07
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- V. Walk-Out Elevation sheet A-5
- W. Side Elevation sheet A-6
- X. Side Elevation sheet A-7

# AMBER WOODS OFFICE CENTRE



KNOW ALL MEN BY THESE PRESENTS, That Amber Woods Office Centre, L.L.C. a Minnesota Limited Liability Company, for owner of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

Lot 1, Block 1, ORONOCO, Hennepin County, Minnesota

Has caused the same to be surveyed and plotted as AMBER WOODS OFFICE CENTRE and does not intend to use the same for public use except the easements as shown on this plan for drainage and utility purposes.

In witness whereof said Amber Woods Office Centre, L.L.C., has caused these presents to be signed by Philip Lee Carlson, its Chief Executive Officer this \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_.

Amber Woods Office Centre, LLC

Philip Lee Carlson, Chief Executive Officer

STATE OF MINNESOTA

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_ at \_\_\_\_\_ City of \_\_\_\_\_ County of \_\_\_\_\_ State of Minnesota, by Philip Lee Carlson, its Chief Executive Officer on behalf of the company.

Notary Public \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

I hereby certify that I have surveyed and plotted the property described on this plat as AMBER WOODS OFFICE CENTRE; that the plat is a correct representation of said survey; that all distances are correctly shown on the plat in feet and hundredths of a foot; that all monuments have been correctly placed on the ground as shown on said plat; that the present is a true and correct copy of the original as shown on the plat; that the present is a true and correct copy of the original as shown on the plat; that there are no violations as defined in Minn. Statutes §262.02, Subd. 1 or public highways to be designated on the plat.

Rory L. Spornstein, Land Surveyor  
Minnesota License No. 4484

STATE OF MINNESOTA  
COUNTY OF HENNEPIN

The foregoing Surveyor's Certificate was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_ by Rory L. Spornstein, Land Surveyor, Minnesota License No. 4484.

Rory L. Spornstein, Land Surveyor  
My Commission Expires January 31, 2009

ORONOCO, MINNESOTA

This plat of AMBER WOODS OFFICE CENTRE was approved and accepted by the City Council of Oronoco, Minnesota, on this \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_. If applicable, the written comments and recommendations of the Commission on Transportation and the County Highway Engineers have been received by the City or the prescribed 30 day period has expired without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 216.01, Subd. 2.

CITY COUNCIL OF ORONOCO, MINNESOTA

By \_\_\_\_\_ Mayor By \_\_\_\_\_ Clerk

TAXPAYER SERVICES DEPARTMENT, Hennepin County, Minnesota

I hereby certify that taxes payable in 200\_\_ and prior years have been paid for land described on this plat. Dated this \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_.

Jill L. Alvarson, Hennepin County Auditor

By \_\_\_\_\_ Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MINN. STAT. SEC. 352.045 (1997) this plat has been approved this \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_.

William P. Brown, Hennepin County Surveyor

By \_\_\_\_\_

REGISTER OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of AMBER WOODS OFFICE CENTRE was filed in this office this \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_ at \_\_\_\_\_ o'clock \_\_\_\_\_ M.

Michael H. Conant, Register of Titles

By \_\_\_\_\_ Deputy

R.T. DOC. No. \_\_\_\_\_

# AMBER WOODS OFFICE CENTER

## ORONO, MINNESOTA

PRELIMINARY PLANS FOR:  
STREETS, GRADING, CURB & GUTTER,  
UTILITIES, PONDING, AND RETAINING WALLS

ORONO, MINNESOTA  
INTERSPACE-WHEEL, INC.  
CINA CARSON  
WISCONSIN STATE

ORONO, MINNESOTA  
INTERSPACE-WHEEL, INC.  
CINA CARSON  
WISCONSIN STATE

LOUGHS ASSOCIATES  
Professional Corporation  
24110 Birchwood Drive  
Minnetonka, MN 55345  
TEL: 952-891-1177  
FAX: 952-891-1176

**CLIENT INFORMATION**  
Project Name: Amber Woods Office Center  
Site Address: 1120 Sibley Memorial Highway  
City/State/Zip: Menota Heights, MN 55118  
Project No.: 1120SIB  
Drawing No.: 1120SIB-001

**DESIGNER INFORMATION**  
Firm Name: Loug's Associates  
Project Manager: Jeff Shoppe  
Design Engineer: Jeff Shoppe  
Professional Engineer No.: 055389  
Professional Seal: [Seal]

**GENERAL CONTRACTOR**  
Company Name: [Blank]  
Address: [Blank]  
City/State/Zip: [Blank]  
Tel: [Blank]  
Fax: [Blank]

**DATE PLOTTED**  
Date: [Blank]

**SCALE**  
Scale: [Blank]

**DATE PRINTED**  
Date: [Blank]

04118  
C0-1  
COVER SHEET

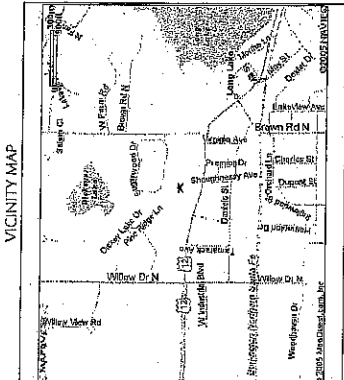
NO.	DESCRIPTION	DATE
1	PLAN	05/11/00
2	SECTION	05/11/00
3	UTILITY	05/11/00
4	GRADING	05/11/00
5	RETAINING WALL	05/11/00
6	LANDSCAPE	05/11/00
7	DETAILS	05/11/00

### DESIGN CONSULTANTS

**CIVIL ENGINEER**  
LOUG'S ASSOCIATES  
1120 SIBLEY MEMORIAL HWY  
MINNETONKA, MN 55345  
TEL: 952-891-1177  
FAX: 952-891-1176

**STRUCTURAL ENGINEER**  
STROTH ENGINEERING  
1120 SIBLEY MEMORIAL HIGHWAY  
MINNETONKA, MN 55118  
TEL: 952-891-1177  
FAX: 952-249-1117

**ARCHITECT**  
InterSpace-Wheel, Inc.  
1120 Sibley Memorial Highway  
Menota Heights, MN 55118  
TEL: 952-249-1117  
FAX: 952-249-1116



**WARNING:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN ADJUSTING THEIR SERVICE AND FOR RELOCATION OF LINES.  
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-8002 FOR THE LOCATION OF ALL UNDERGROUND UTILITIES. CALLERS SHOULD ADVANCE TO THE LOCATION OF ALL UNDERGROUND UTILITIES BEFORE DIGGING. THE CONTRACTOR SHALL REMOVE OR REPLACE ANY UTILITIES WHICH ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



### SHEET INDEX

C0-1	COVER SHEET
C-1	EXISTING CONDITIONS
C-2	REMOVAL PLAN
C-3	SITE PLAN
C-4	GRADING & DRAINAGE PLAN WEST
C-5	GRADING, DRAINAGE, & SWEEP PLAN EAST
C-6	STORM WATER POLLUTION PREVENTION PLAN
C-7	UTILITY PLAN & PROFILE
C-8	DETAIL SHEET
L-1	LANDSCAPE PLAN

### GENERAL NOTES

- This Existing Conditions Plan was prepared by a field survey conducted by Loug's Associates and recent utility drawings from the City of Orono.  
We have shown buried structures and utilities on another sheet of this plan to the best of our ability, subject to the following conditions:  
a. Utility structures and utilities were not shown on drawings received through the Gopher State One Call service for this project.  
b. Those utility structures that do respond, often will not be shown on drawings received through the Gopher State One Call service or facility - they may be located outside the site or a private service to an adjacent site crosses this site or services to this site cross an adjacent site. It may not be possible to locate these structures or utilities through the Gopher State One Call service.  
c. Snow and ice conditions during winter months may obscure otherwise visible evidence of a buried structure.  
d. Maps provided for operations, either along with a field location or in lieu of such a location, are very often inaccurate or incomplete.  
e. The location of underground utilities shown on this plan were obtained from the client and the City of Orono records.  
f. All of the underground utility information and location shown on this plan were prepared from recent drawings obtained from the client and the City of Orono records.
- CAUTION: DO NOT BE SUBSCRIBED BEFORE AN EXCAVATION TAKES PLACE. YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 651/454-8002.**





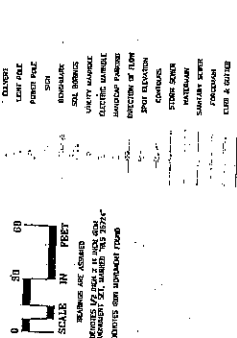
CALL US TODAY  
Copher State One Call  
TOLL FREE 1-800-454-2400

C1-1

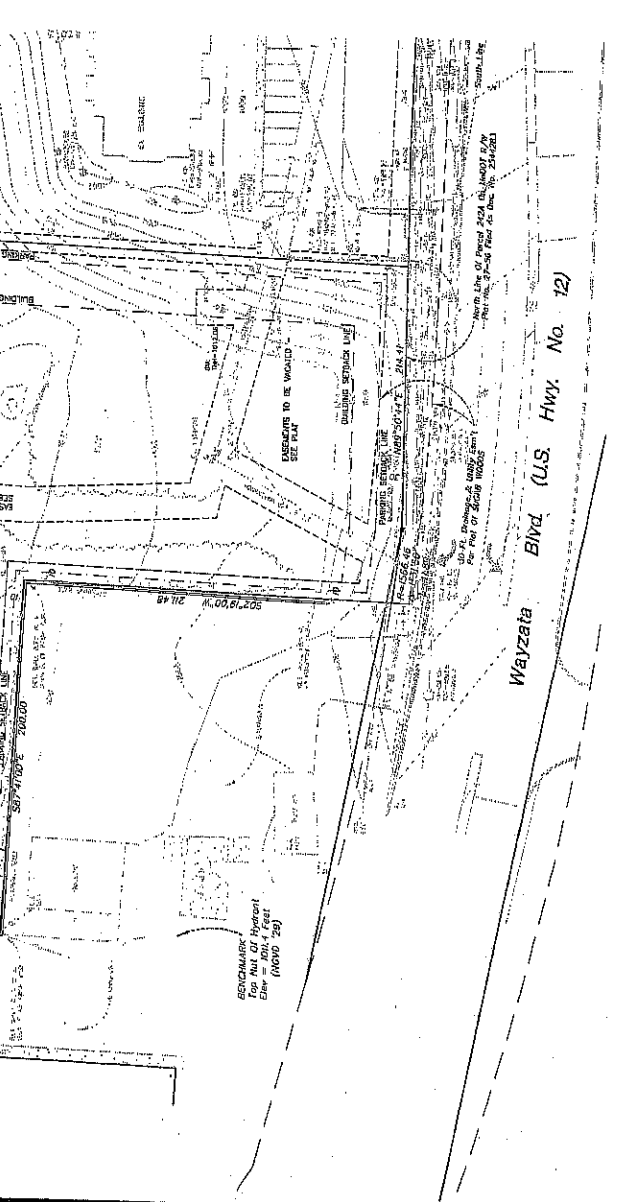
PLANS NO. 04118

EXISTING CONDITIONS

PROJECT NAME	AMBER WOODS OFFICE CENTER
OWNER	ORLAND, MINNESOTA INTERSTATEWEST, INC. ONE WILSON DRIVE WINDY LAKE, MINNESOTA
DESIGNER	LOUIS ASSOCIATES, INC. 225 N. MARKET STREET, SUITE 100 WINDY LAKE, MINNESOTA
DATE	2002/05/20
SCALE	AS SHOWN
PROJECT NO.	04118
SHEET NO.	C1-1



DTL LEGEND  
STORM SEWER  
SEWER  
WATER  
WATER MAIN  
SIGNAL MAIN  
CROSSING  
ELECTRIC MAIN  
ELECTRIC SERVICE  
CABLE TV  
TELEPHONE  
GAS  
UNSATURATED ZONE  
BENCH MARK  
EXISTING CONDITIONS  
PROPOSED CONSTRUCTION



Wayzata Blvd (U.S. Hwy. No. 12)

AMBER WOODS OFFICE CENTER

ORONO, MINNESOTA  
INTERSTATE WEST, INC.  
CINA CARLSON  
WINDY HILLS, MINNESOTA

LOUCKS ASSOCIATES

Professional Engineer  
Minnesota State Board of Professional Engineers

Table with columns for various engineering disciplines: CIVIL, ELECTRICAL, MECHANICAL, etc.

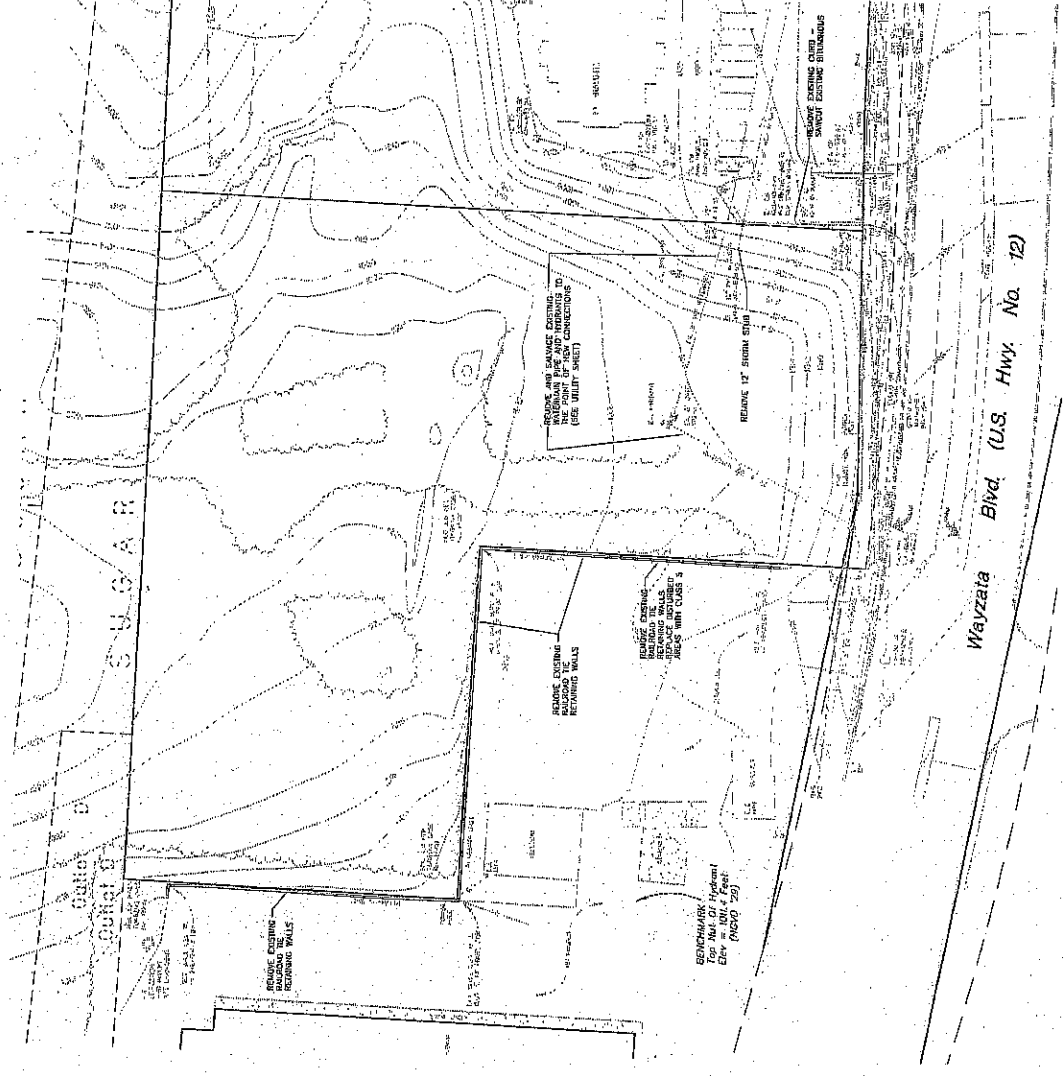
Table with columns: PROJECT NO., SHEET NO., DATE, etc.

REMOVAL PLAN

04118  
C12

Scale: 1" = 20' 0" and 1" = 60'. Includes north arrow and project title: CIVIL, ELECTRICAL, MECHANICAL, etc.

CRACKING, BREACHING & EROSION CONTROL NOTES  
1. The contractor shall...  
2. The contractor shall...  
3. The contractor shall...  
4. The contractor shall...  
5. The contractor shall...  
6. The contractor shall...  
7. The contractor shall...  
8. The contractor shall...  
9. The contractor shall...  
10. The contractor shall...



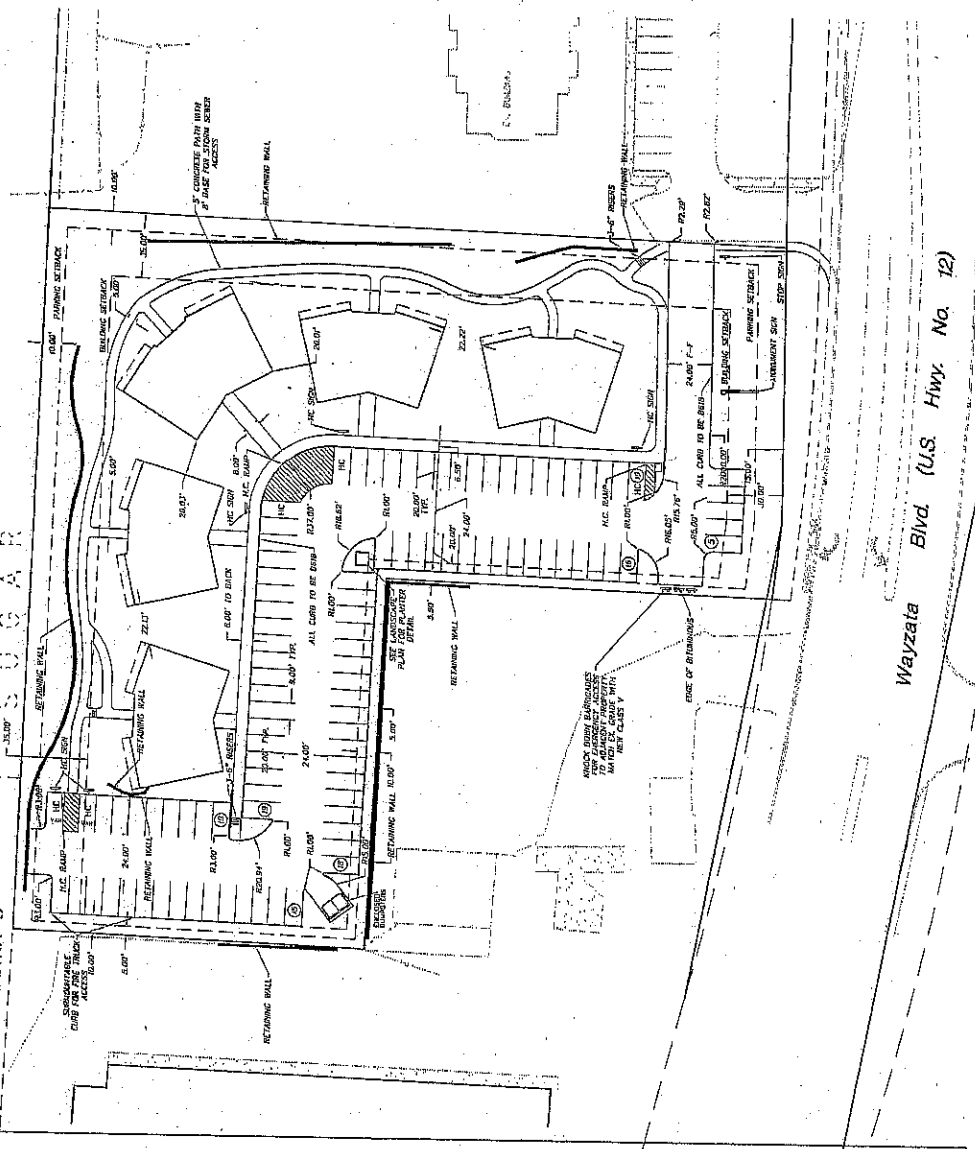
Gopher State One Call logo with text: CALL BEFORE YOU DIG, 800-452-4525, 800-452-4525

DUNWO, MINNESOTA  
INTERSPACE WEST, INC.  
CINDA CARLSON  
10101 114  
WAYZATA, MN 55391

**LOUISIS  
ASSOCIATES**  
Planning, Civil Engineering, Architecture  
10101 114, Suite 200  
Wayzata, MN 55391  
Tel: 763-438-1234

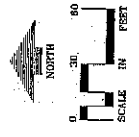
- PREPARED BY:** LOUISIS ASSOCIATES
- DATE:** 08/18/08
- PROJECT:** Amber Woods Office Center
- CITY:** Wayzata, MN
- SHEET NO.:** 04118
- SHEET TITLE:** SITE PLAN

**04118**  
C2-1



**VERTICAL CURVE LEGEND (continued)**

- 10% GRADE
- 5% GRADE
- 0% GRADE
- 1:2 SLOPE
- 1:4 SLOPE
- 1:6 SLOPE
- 1:8 SLOPE
- 1:10 SLOPE
- 1:12 SLOPE
- 1:15 SLOPE
- 1:20 SLOPE
- 1:25 SLOPE
- 1:30 SLOPE
- 1:40 SLOPE
- 1:50 SLOPE
- 2:1 SLOPE
- 3:1 SLOPE
- 4:1 SLOPE
- 5:1 SLOPE
- 6:1 SLOPE
- 7:1 SLOPE
- 8:1 SLOPE
- 9:1 SLOPE
- 10:1 SLOPE
- 12:1 SLOPE
- 15:1 SLOPE
- 20:1 SLOPE
- 25:1 SLOPE
- 30:1 SLOPE
- 40:1 SLOPE
- 50:1 SLOPE
- 60:1 SLOPE
- 70:1 SLOPE
- 80:1 SLOPE
- 90:1 SLOPE
- 100:1 SLOPE



**OPEN SPACE CALCULATIONS**

INTERVIOUS AREA	1.75 AC	35.7%
PERVIOUS AREA	1.18 AC	41.9%
TOTAL SITE AREA	2.93 AC	100%

**PARKING CALCULATIONS**  
NO. OF SPACES 10  
PROVIDED 100  
PROVIDED 100

- SITE PLAN GENERAL NOTES**
- All parking concrete curb, gutter and sidewalks shall be finished and installed in accordance with the details shown on sheet C2-1 and the requirements of the City.
  - The City Department of Engineering will be responsible for obtaining the construction engineer's seal by providing a plan showing the location of the utility and any other underground utility lines. The City will be responsible for providing the necessary easements and right-of-way for the utility lines.
  - Minnesota State code requires that all utility lines be installed in accordance with the Minnesota State code. The City will be responsible for providing the necessary easements and right-of-way for the utility lines.
  - All dimensions are to face of curb unless otherwise noted.
  - Refer to architectural plans for building dimensions.



**Gopher State One Call**  
TOLL FREE: 1-800-255-1188

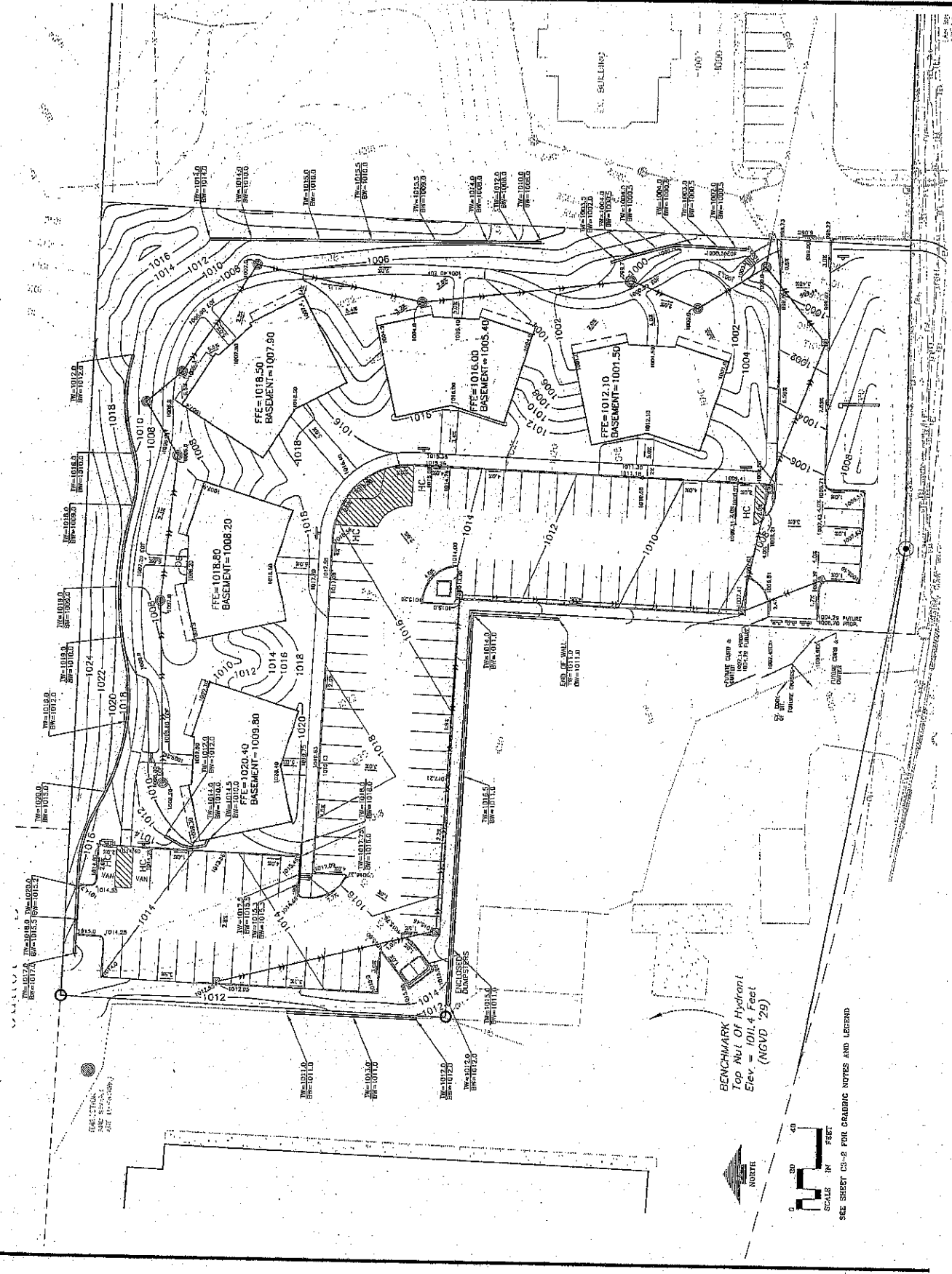
DIXON, MINNESOTA  
 INTERSTATE MET INC  
 2000 S. STATE ST.  
 WYAZMA, WI 53191

**LOUCK'S ASSOCIATES**  
 Planning • Civil Engineering • Landscaping

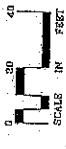
NO.	DESCRIPTION	DATE	BY
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2	FINAL	12/10/10	ML
3	AS BUILT	06/01/11	ML
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5	REVISION	08/01/11	ML
6	REVISION	09/01/11	ML
7	REVISION	10/01/11	ML
8	REVISION	11/01/11	ML
9	REVISION	12/01/11	ML
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11	REVISION	02/01/12	ML
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51	REVISION	06/01/15	ML
52	REVISION	07/01/15	ML
53	REVISION	08/01/15	ML
54	REVISION	09/01/15	ML
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95	REVISION	02/01/19	ML
96	REVISION	03/01/19	ML
97	REVISION	04/01/19	ML
98	REVISION	05/01/19	ML
99	REVISION	06/01/19	ML
100	REVISION	07/01/19	ML

CRADING & DRAINAGE PLAN WEST

04110  
 C3-1



BENCHMARK  
 Top Nbl Of Hydrant  
 Elev = 1011.4 Feet  
 (NGVD '29)



SEE SHEET C3-2 FOR GRADING NOTES AND LEGEND



AMBER WOODS OFFICE CENTER

ORONO, MINNESOTA  
HYPERSPACE WEST, INC.  
CANNONDAKE, MINNESOTA  
WILSON, MINNESOTA

LOUGHS ASSOCIATES

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Table with 2 columns: Item, Description. Includes items for Stormwater Management, Erosion Control, and Construction Methods.

STORM WATER POLLUTION PREVENTION PLAN SHEET

04118  
C3-3

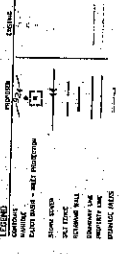
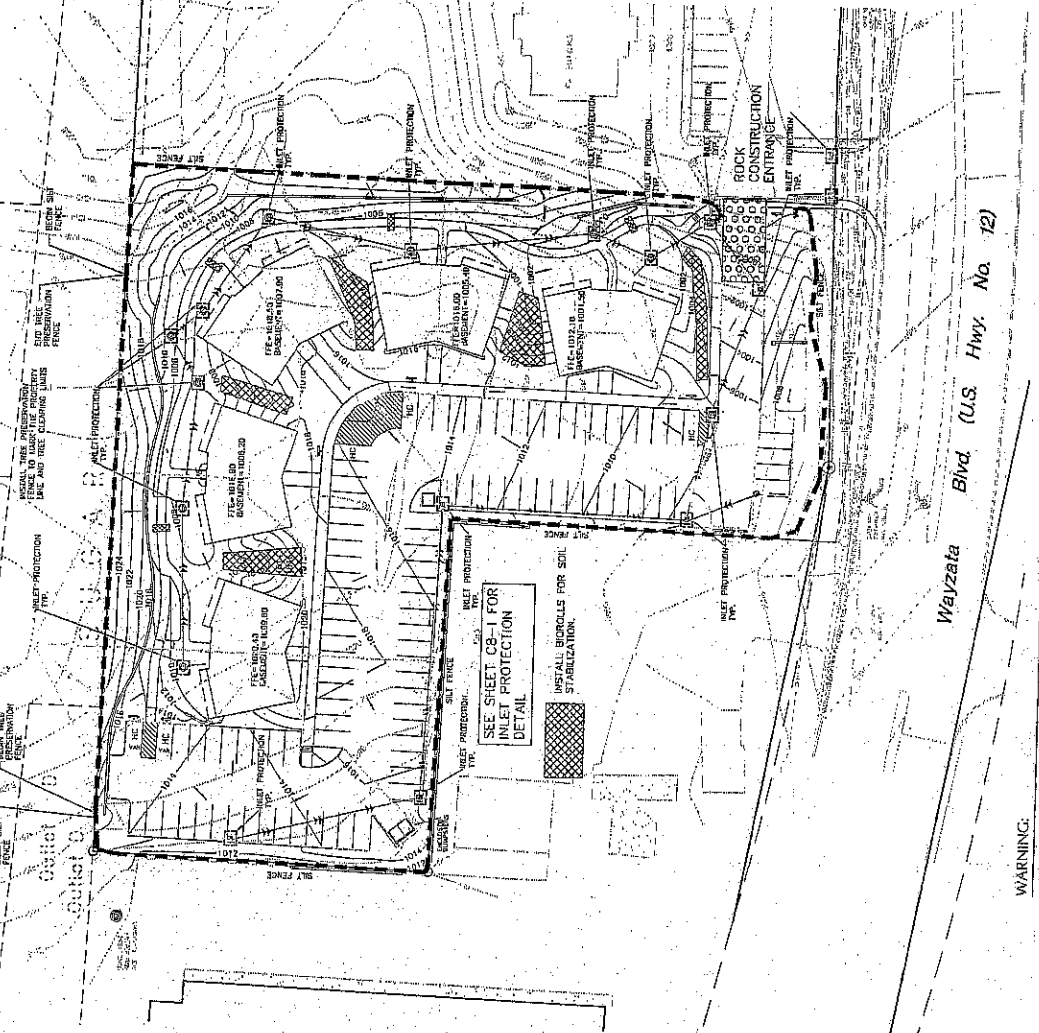
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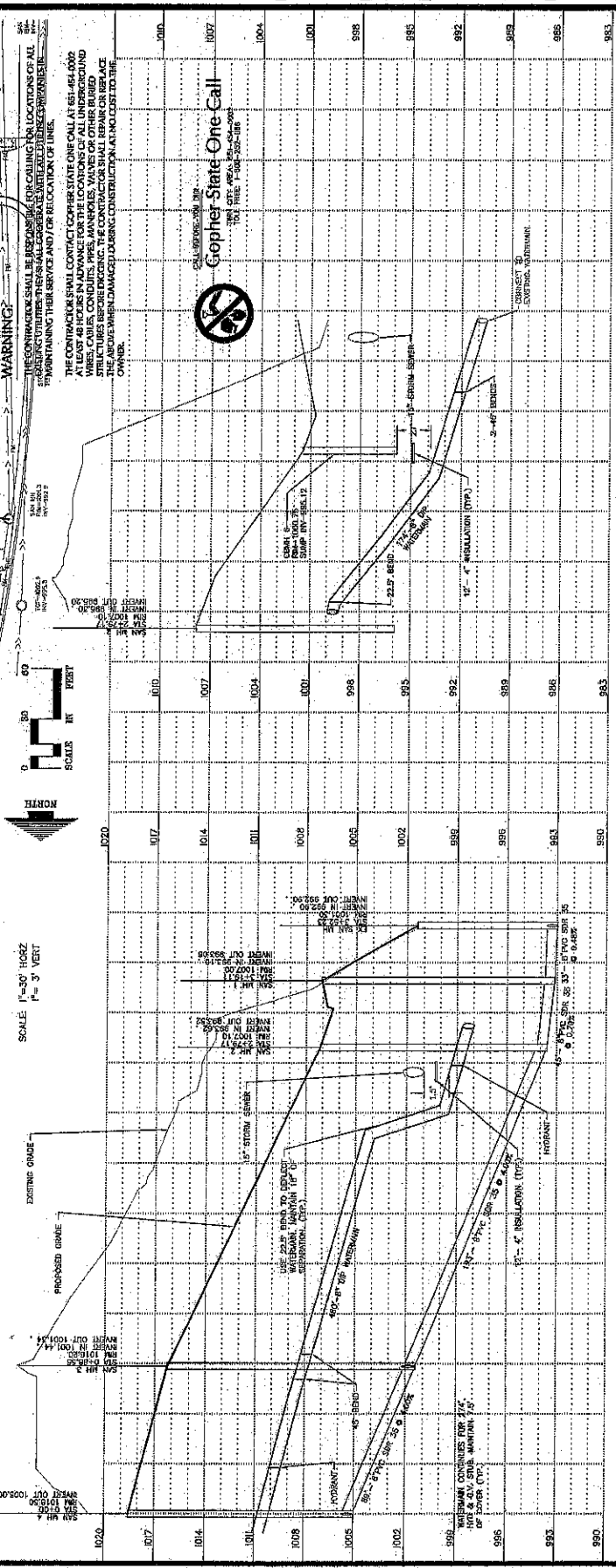
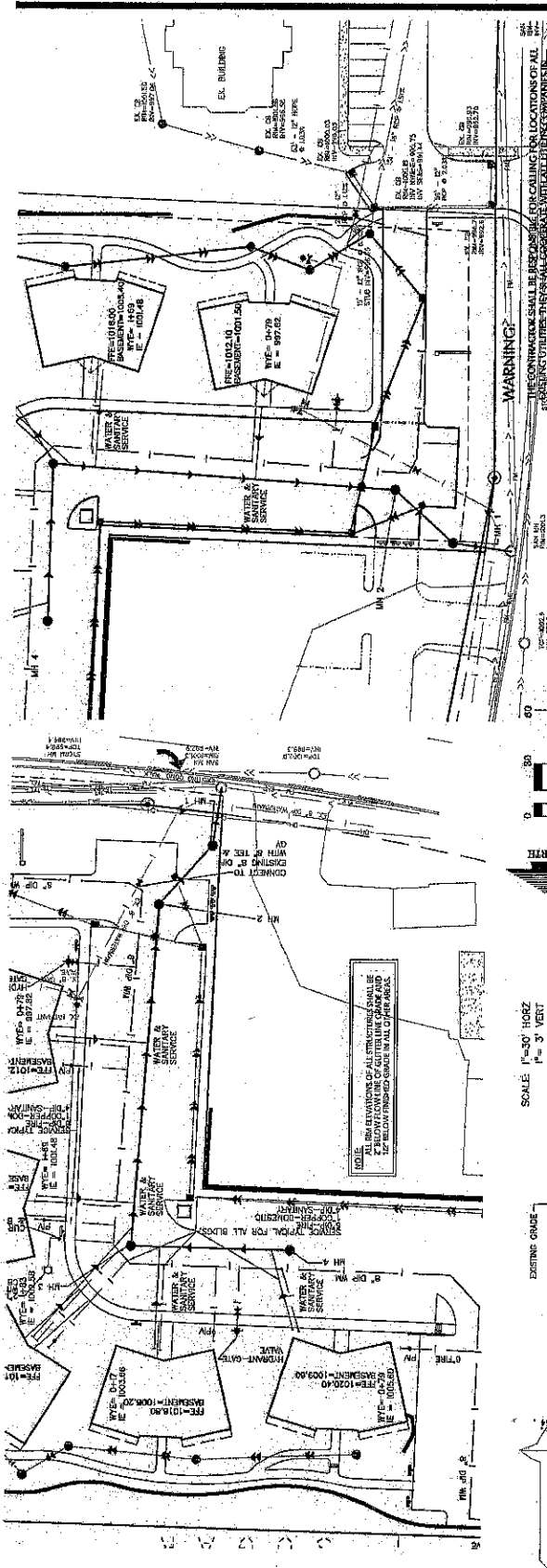
Gopher State One Call  
TOLL FREE 800-455-4522



REQUIRED MAINTENANCE  
1. MAINTAIN ALL CONSTRUCTION AREAS TO PREVENT EROSION AND SEDIMENTATION.  
2. MAINTAIN ALL CONSTRUCTION AREAS TO PREVENT POLLUTION OF ADJACENT WATER BODIES.  
3. MAINTAIN ALL CONSTRUCTION AREAS TO PREVENT DAMAGE TO ADJACENT PROPERTIES.  
4. MAINTAIN ALL CONSTRUCTION AREAS TO PREVENT DAMAGE TO ADJACENT UTILITIES.  
5. MAINTAIN ALL CONSTRUCTION AREAS TO PREVENT DAMAGE TO ADJACENT TRAVELWAYS.

WARNING:  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEERING DEPARTMENT AND THE STATE OF MINNESOTA BEFORE COMMENCING CONSTRUCTION.  
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 800-455-4522 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND UTILITIES.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL ADJACENT AREAS TO ORIGINAL OR BETTER CONDITION AFTER COMPLETION OF CONSTRUCTION.







**LOUCK'S ASSOCIATES**  
Planning • Civil Engineering • Land Surveying  
1000 Hennepin Avenue, Suite 1000  
Minneapolis, Minnesota 55402  
TEL: 612-338-1100  
FAX: 612-338-1101  
www.loucks.com

**PROJECT INFORMATION:**  
PROJECT NO. 04118  
SHEET NO. C8-1

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	08/15/00	ISSUED FOR PERMIT
2	08/15/00	ISSUED FOR PERMIT
3	08/15/00	ISSUED FOR PERMIT
4	08/15/00	ISSUED FOR PERMIT
5	08/15/00	ISSUED FOR PERMIT
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49	08/15/00	ISSUED FOR PERMIT
50	08/15/00	ISSUED FOR PERMIT

**PROFESSIONAL ENGINEER:**  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Firm: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_  
State: \_\_\_\_\_  
Zip: \_\_\_\_\_  
Date: \_\_\_\_\_

**DETAIL SHEET**

PROJECT NO. 04118  
SHEET NO. C8-1

**2" SUMP FOR WATERSHED 2" SUMP FOR WATERSHED**

**LOCAL WATERSHED GENESIS**

**GENERAL DETAIL**

**STEEL SERVICE LINE**

**RAIL PROTECTION METAL BASKET TYPE**

**SECTION A-A**

**SECTION B-B**

**SECTION C-C**

**BITUMINOUS PAVING SECTION**

**SECTION D-D**

**SECTION E-E**

**SECTION F-F**

**TYPICAL FOR 15' AND UP**

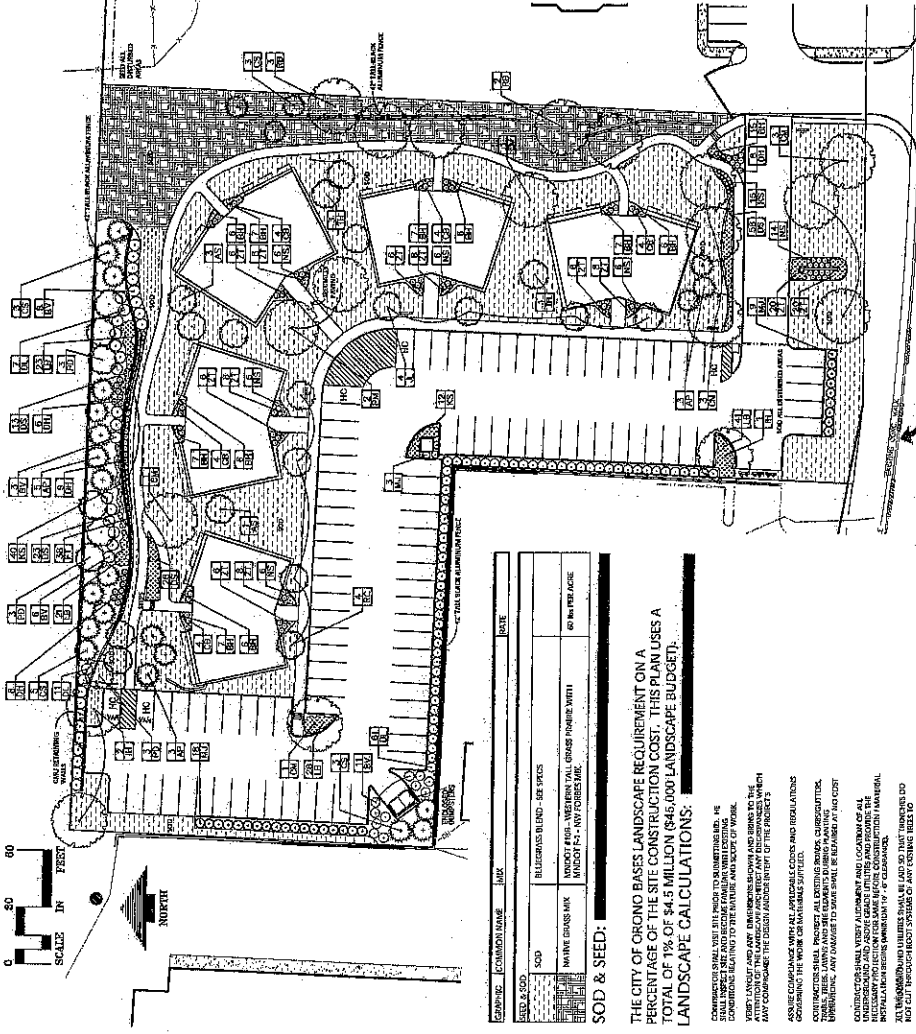
**SECTION G-G**

**SECTION H-H**

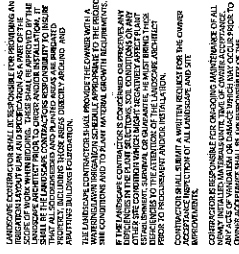
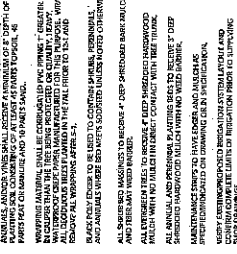
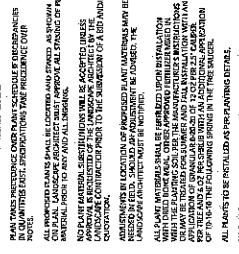
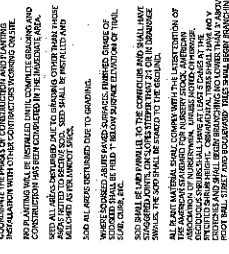
**CONTRACT INFORMATION:**  
This landscape plan was prepared for the use of the client for the project described above. It is not to be used for any other project without the written consent of Loucks Associates.  
**GENERAL NOTES:**  
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**PLANTING SCHEDULE:**  
ALL PLANTING TO BE COMPLETED BY THE END OF MAY.  
**LANDSCAPE PLAN:**  
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**NOTICE TO CONSTRUCTION:**  
04118  
LANDSCAPE PLAN



PLANT	QUANTITY	PLANT NAME	RECOMMENDED SIZE	PLANT CODE	PLANT SPECIES
1	1	DOUGLASS SPICEWOOD	2-4" CAL	001	DOUGLASS SPICEWOOD
2	1	SHRUB	3-4" CAL	002	SHRUB
3	1	DOUGLASS SPICEWOOD	3-4" CAL	003	DOUGLASS SPICEWOOD
4	1	SHRUB	3-4" CAL	004	SHRUB
5	1	DOUGLASS SPICEWOOD	3-4" CAL	005	DOUGLASS SPICEWOOD
6	1	SHRUB	3-4" CAL	006	SHRUB
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8	1	SHRUB	3-4" CAL	008	SHRUB
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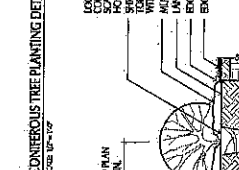
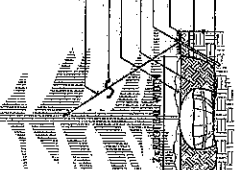
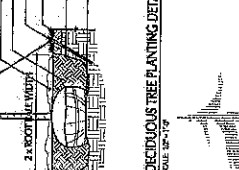
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04118  
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FOR PURCHASING DETAILS SEE WWW.DELGARD.COM  
MODEL 42 BLACK ALUMINUM ELBA RESIDENTIAL 3-RAIL FENCE

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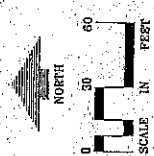
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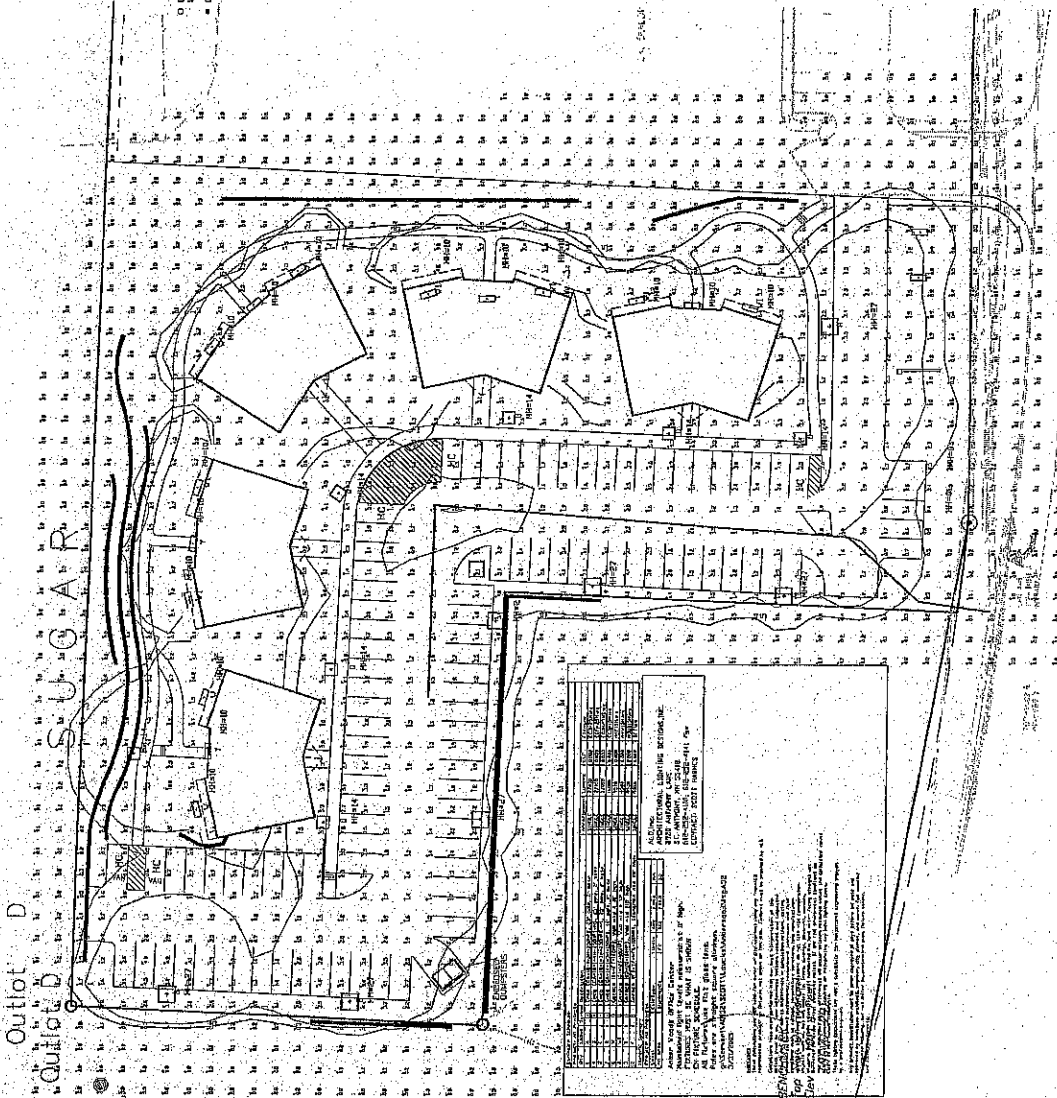
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04118  
LANDSCAPE PLAN

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MODEL 42 BLACK ALUMINUM ELBA RESIDENTIAL 3-RAIL FENCE

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BOUNDRIES ARE ASSUMED  
 O BOUNDRIES 1/2" WIDE AS IS NOT SHOWN  
 ON THIS PLAN AND TO BE SET BY SURVEYOR  
 X BOUNDRIES WITH ADJACENT TRACT



**JOHN YORK OFFICE CENTER**  
 A DEVELOPMENT OF THE PROPERTY OF J.Y.C.  
 2700 SUGAR BLVD., SUITE 1000  
 BOZEMAN, MONTANA 59717  
 CONTACT JOHN YORK

**ALSO SEE: THE SITE PLAN**  
 2700 SUGAR BLVD., SUITE 1000  
 BOZEMAN, MONTANA 59717  
 CONTACT JOHN YORK

DESIGNED BY: JOHN YORK ARCHITECTS  
 1000 1/2 SUGAR BLVD., SUITE 1000  
 BOZEMAN, MONTANA 59717  
 (406) 552-1234

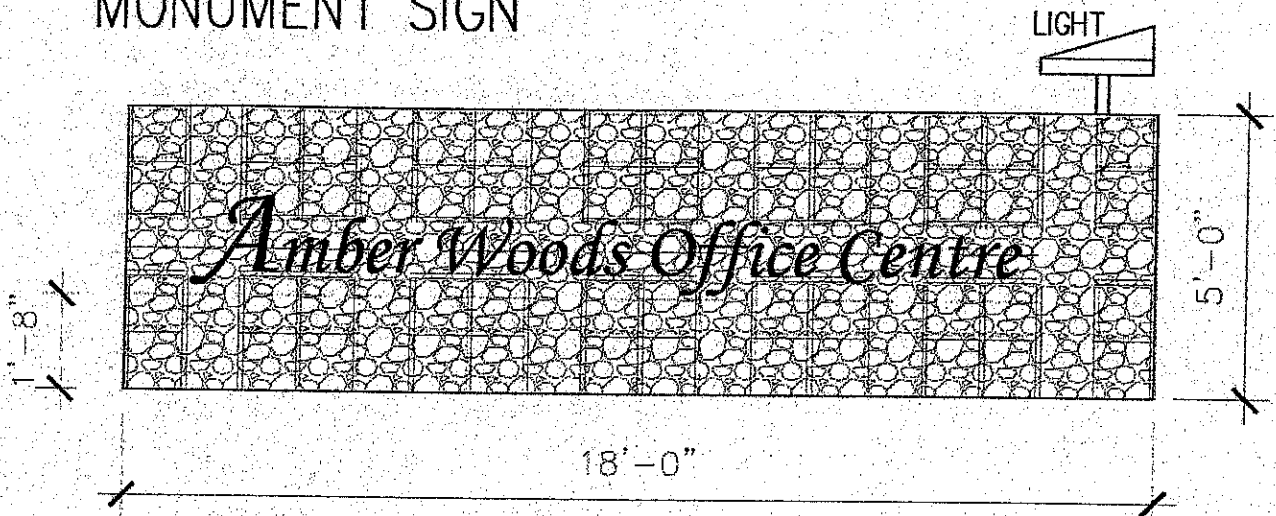
Waysata Blvd. (U.S. Hwy. No. 12)

L2-1 M



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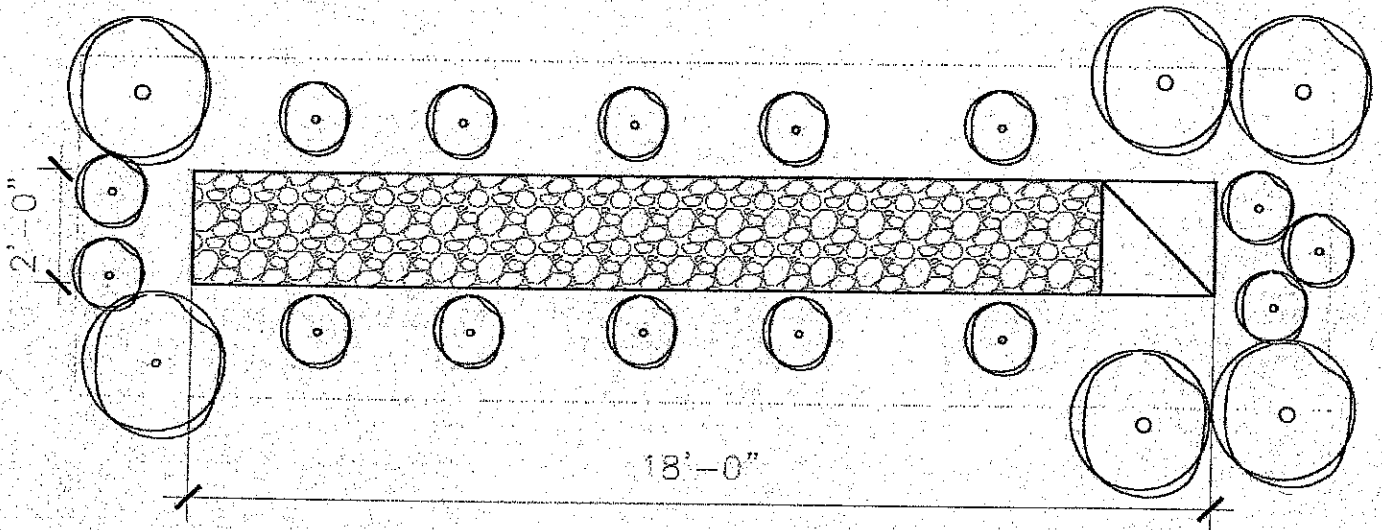
# AMBER WOODS OFFICE CENTRE MONUMENT SIGN



## SIDE VIEW

SIGNAGE MATERIAL:  
FIELDSTONE  
REBAR

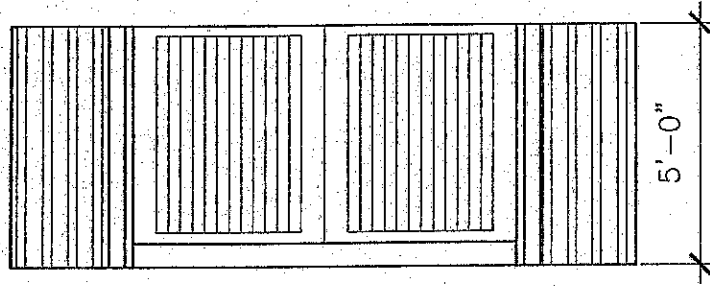
LETTERING:  
BACKLIGHTED  
BRUSHED METAL LETTERS



## PLAN VIEW

PLANTS:  
JUNIPERS (ENDS)  
YEWS  
FLOWER BORDER (IN SEASON)

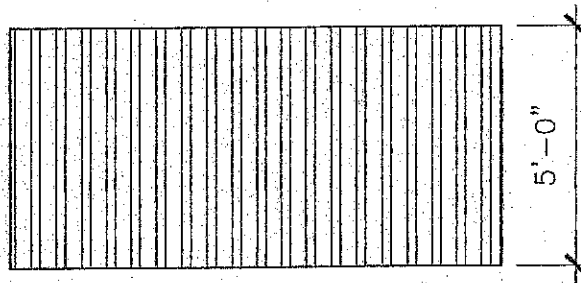
# AMBER WOODS OFFICE CENTRE DUMPSTER SCREENING



FRONT VIEW

METAL CLAD GATE  
METAL CLAD SIDING

# AMBER WOODS OFFICE CENTRE DUMPSTER SCREENING



SIDE & REAR VIEWS

METAL CLAD SIDING

**AMBER WOODS OFFICE CENTRE**  
2060 WEST WAYZATA BLVD., ORONO, MN

SCALE: 1/4" = 1'-0"

**INTERSPACE-WEST, INC.**

PO BOX 184, WAYZATA, MN 55391  
PH: 952-249-1117 FX: 952-249-1118  
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DATE: 1-12-2007  
REVISIONS:


# AMBER WOODS OFFICE CENTER ORONO, MINNESOTA

17

## GENERAL NOTES:

### DESIGN PROVISIONS:

1. THE FOLLOWING EFFECTIVE STRENGTH PARAMETERS WERE ASSUMED IN THE PREPARATION OF THE STRUCTURAL CALCULATIONS FOR THE BOULDER RETAINING WALLS:

	$\phi$	C	Y	SOIL TYPE
REINFORCED SOIL	34°	0	120 PCF	SELECT GRANULAR
RETAINED SOIL	34°	0	120 PCF	SELECT GRANULAR
FOUNDATION SOIL	26°	0	120 PCF	SANDY LEAN CLAY

SOIL TYPES AND DESIGN PROPERTIES SHALL BE CONFIRMED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO WALL CONSTRUCTION.

2. THE WALLS ARE DESIGNED TO SUPPORT THE FOLLOWING MAXIMUM SURCHARGE LOADINGS:

LIVE LOAD:	250 PSF DRIVEWAY
BACK SLOPE:	2.5:1 MAX
SEISMIC:	NOT APPLICABLE

3. THE WALL FOUNDATION SOILS AT THE WALL LOCATIONS SHALL BE CAPABLE OF SAFELY SUPPORTING 2,000 PSF WITHOUT FAILURE OR EXCESSIVE SETTLEMENT. LOCAL BEARING CAPACITY SHALL BE CONFIRMED BY THE SITE GEOTECHNICAL ENGINEER AFTER FOUNDATION EXCAVATION AND PRIOR TO WALL CONSTRUCTION.

### SUGGESTED QUALITY ASSURANCE PROVISIONS:

1. WALL CONSTRUCTION SHALL BE SUPERVISED BY A QUALIFIED ENGINEER OR TECHNICIAN TO VERIFY FIELD AND SITE SOIL CONDITIONS. IF THIS WORK IS NOT PERFORMED BY THE SITE GEOTECHNICAL ENGINEER, A QUALIFIED GEOTECHNICAL ENGINEER/TECHNICIAN SHALL BE CONSULTED IN THOSE MATTERS PERTAINING TO THE SOIL CONDITIONS AND WALL PERFORMANCE.

## GENERAL NOTES:

### SUGGESTED QUALITY ASSURANCE PROVISIONS:

- THE FOUNDATION SOILS AT THE BASE OF THE WALL(S) SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER. ANY UNSUITABLE SOILS OR IMPROPERLY COMPACTED EMBANKMENT MATERIAL SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE ENGINEER PRIOR TO WALL CONSTRUCTION TO PROVIDE ADEQUATE BEARING CAPACITY AND MINIMIZE SETTLEMENT.
- ALL WALL EXCAVATION AND RETAINED SOILS SHALL BE INSPECTED FOR GROUNDWATER CONDITIONS. ANY ADDITIONAL DRAINAGE PROVISIONS REQUIRED IN THE FIELD SHALL BE INCORPORATED INTO THE WALL CONSTRUCTION AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ALL STRUCTURALLY PLACED BACKFILL MATERIAL SHALL BE TESTED AND APPROVED BY THE ENGINEER, MEETING THE MINIMUM REQUIREMENTS OF THE APPROVED DESIGN PLANS OR SPECIFICATIONS.
- ALL SOIL BACKFILL SHALL BE TESTED BY THE ENGINEER FOR MOISTURE, DENSITY, AND COMPACTION PERIODICALLY (EVERY 2' VERTICALLY, 100'-200' C/C) MEETING THE MINIMUM REQUIREMENTS OF THE APPROVED DESIGN PLANS OR SPECIFICATIONS.
- ALL WALL ELEVATIONS, GRADES, AND BACKSLOPE CONDITIONS SHALL BE VERIFIED BY THE ENGINEER IN THE FIELD FOR CONFORMANCE WITH APPROVED DESIGN PLANS. ANY REVISIONS TO THE STRUCTURE GEOMETRY OR DESIGN CRITERIA SHALL REQUIRE DESIGN MODIFICATIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

SHEET INDEX	
PAGE	DESCRIPTION
1	TITLE SHEET
2	SITE PLAN
3	WALL 1 ELEVATION
4	WALL 1 ELEVATION
5	WALL 4 & 5 ELEVATIONS
6	WALL 6 ELEVATION
7	WALL 7 ELEVATION
8	WALL 8 ELEVATION
9	TYPICAL WALL SECTION DETAIL
10	BOULDER SCHEDULE AND SPECS

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No.	Date	Revision	By	Designed By	Project
1	3-30-07	GRADE REVISION	SRS	SRS	AMBER WOODS OFFICE CENTER ORONO, MN
				Scale: N/A	TITLE SHEET
				Date: 20 MAR 07	

Registration No:

26495

Project No:

06-475A

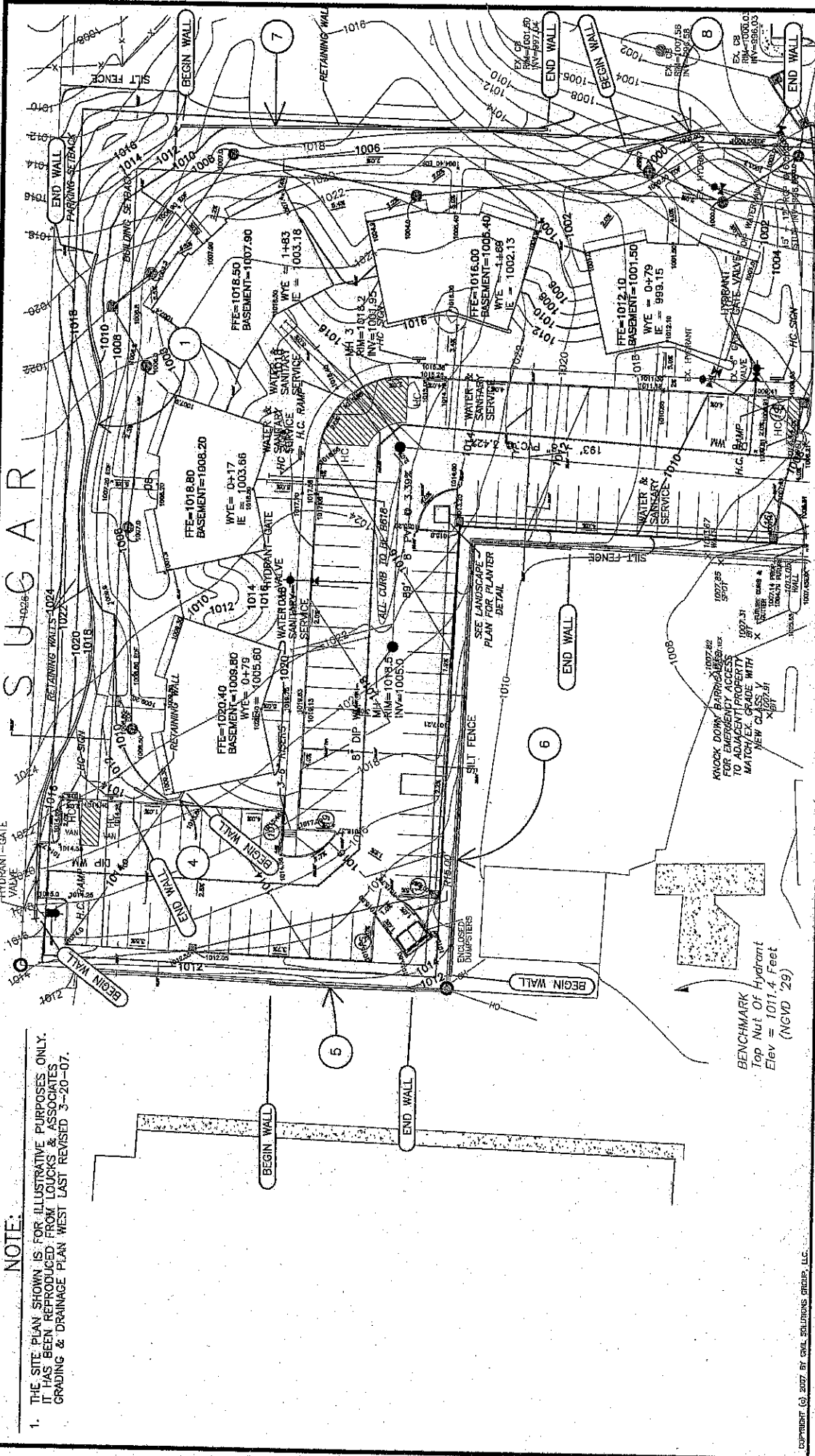
Drawing No:

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Michael R. Johnson, P.E.

Note:

# SUGAR



**NOTE:**  
 1. THE SITE PLAN SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY. IT HAS BEEN REPRODUCED FROM LOUCKS & ASSOCIATES GRADING & DRAINAGE PLAN WEST LAST REVISED 3-20-07.

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Registration No. 25493  
 Project No. 06-479A  
 Drawing No. 2

Michael R. Johnson, P.E.  
 Date: \_\_\_\_\_

Project: AMBER WOODS OFFICE CENTER  
 ORONO, MN

Site PLAN

No.	Date	Revision	By	Designed By	Project
1.	3-20-07	GRADE REVISION	SRS	SRS	Amber Woods Office Center

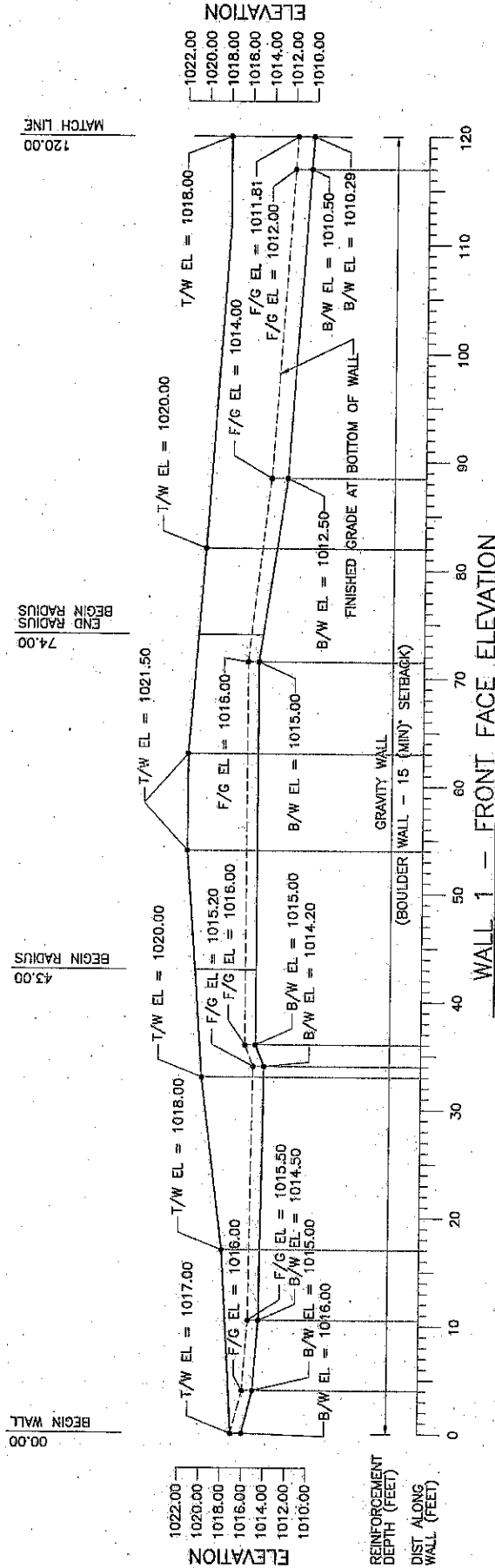
Scale: 1" = 40'  
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**GENERAL NOTES:**

1. THE WALLS ARE TO BE CONSTRUCTED WITH BOULDERS AS PER THE DESIGN REQUIREMENTS (SEE SHEET 10).
2. THE MINIMUM EMBEDMENT AT THE BASE OF WALLS IS 8". THE BOTTOM OF WALL ELEVATIONS SHOWN ON THE ELEVATION PLANS REPRESENT THE MINIMUM EMBEDMENT REQUIREMENT.
3. SELECT GRANULAR FILL IS REQUIRED IN THE RETAINED (1:1 FROM BACK OF DRAINAGE ZONE) AND REINFORCED WALL AREAS.
4. BEGIN AND END RADIUS LOCATIONS ARE APPROXIMATE AND MAY BE ADJUSTED AS REQUIRED.



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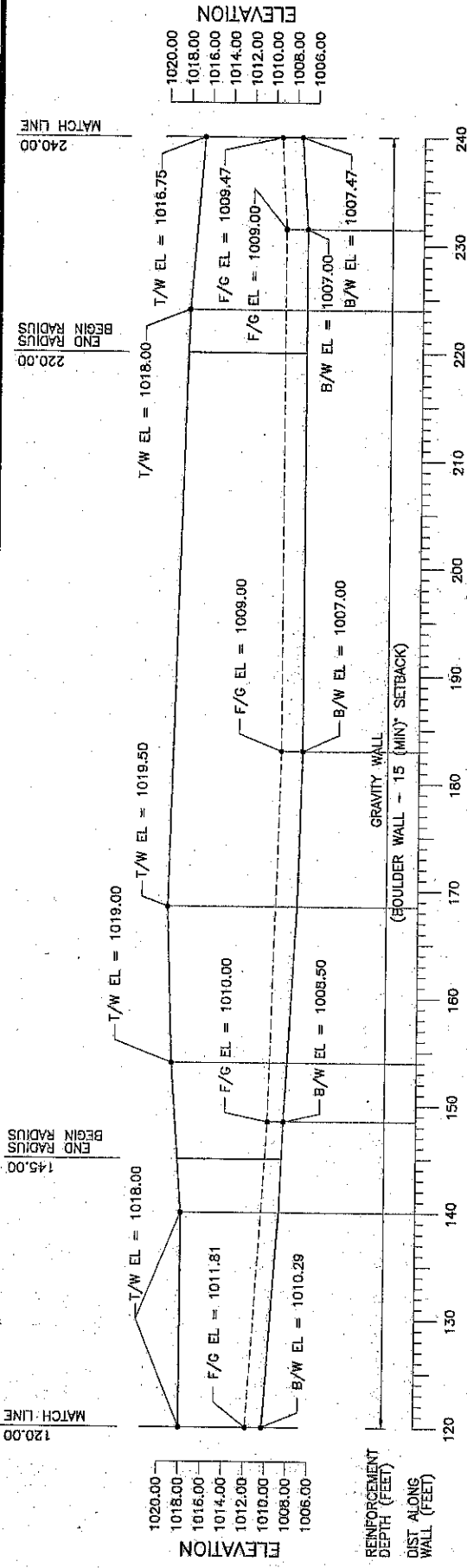
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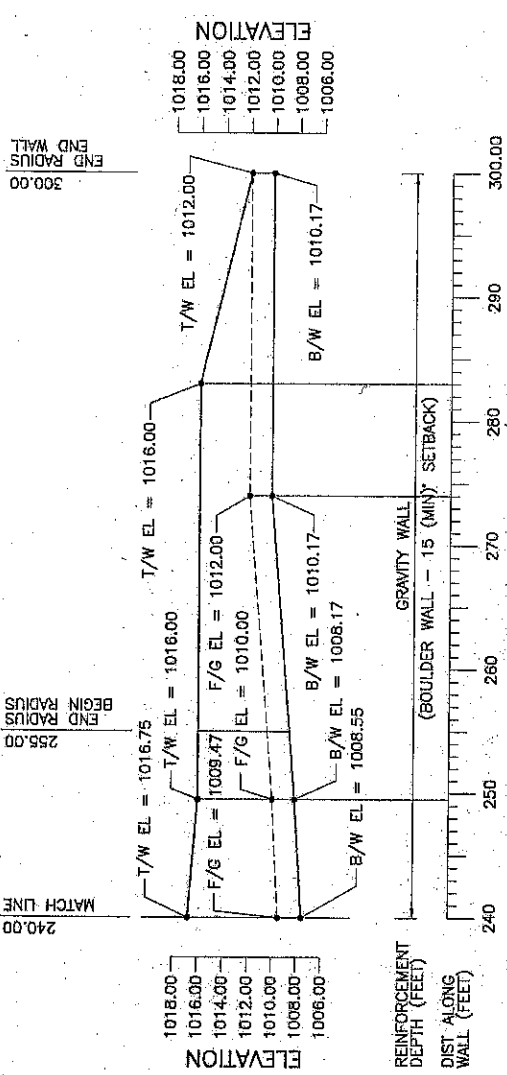
Designed By: SRS  
 Project: AMBER WOODS OFFICE CENTER ORONO, MN  
 Scale: 1" = 10'  
 Date: 20 MAR 07  
 Title: WALL 1 ELEVATION

Registration No: 25499  
 Project No: 06-479A  
 Drawing No: 3  
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WALL 1 - FRONT FACE ELEVATION



WALL 1 - FRONT FACE ELEVATION

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Project: AMBER WOODS OFFICE CENTER  
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Registration No: 23490  
 Project No: 06-479A  
 Drawing No: 4

Designed By: SRS  
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 Date: 20 MAR 07

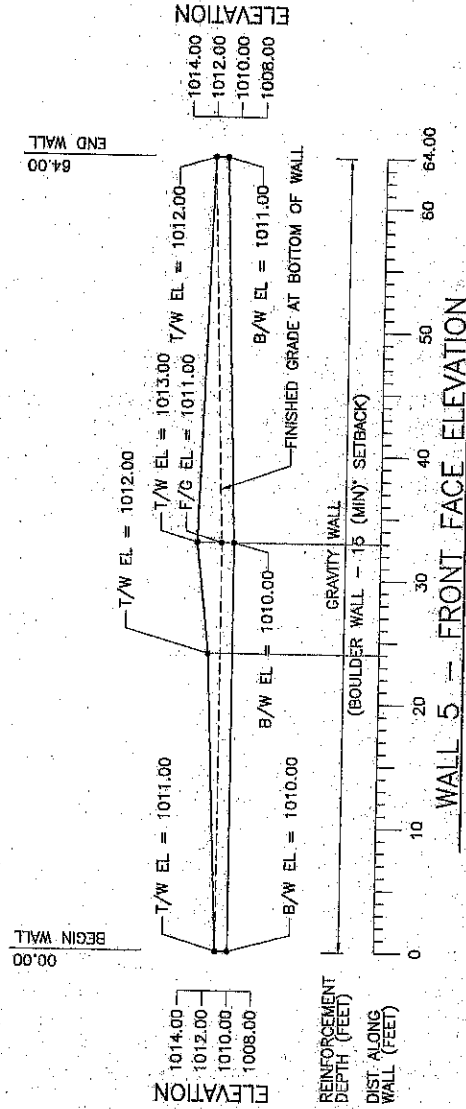
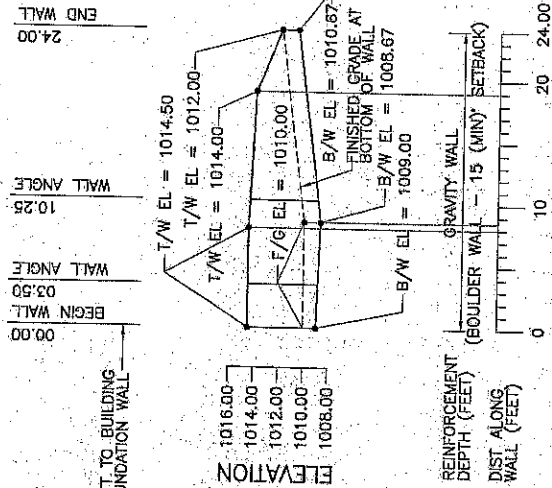
Project Title: WALL 1 ELEVATION

Drawn By: Michael R. Johnson, P.E.

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**NOTE:**

\*1. A GEOTEXTILE FABRIC IS TO BE PLACED AT THE BOULDER WALL & BUILDING FOUNDATION WALL ABUTMENTS. OVERLAP THE BUTT JOINTS 12" WITH FABRIC IN EITHER DIRECTION TO PREVENT THE COREFILL AND BACKFILL FROM MIGRATING THROUGH THE BUTT JOINTS.



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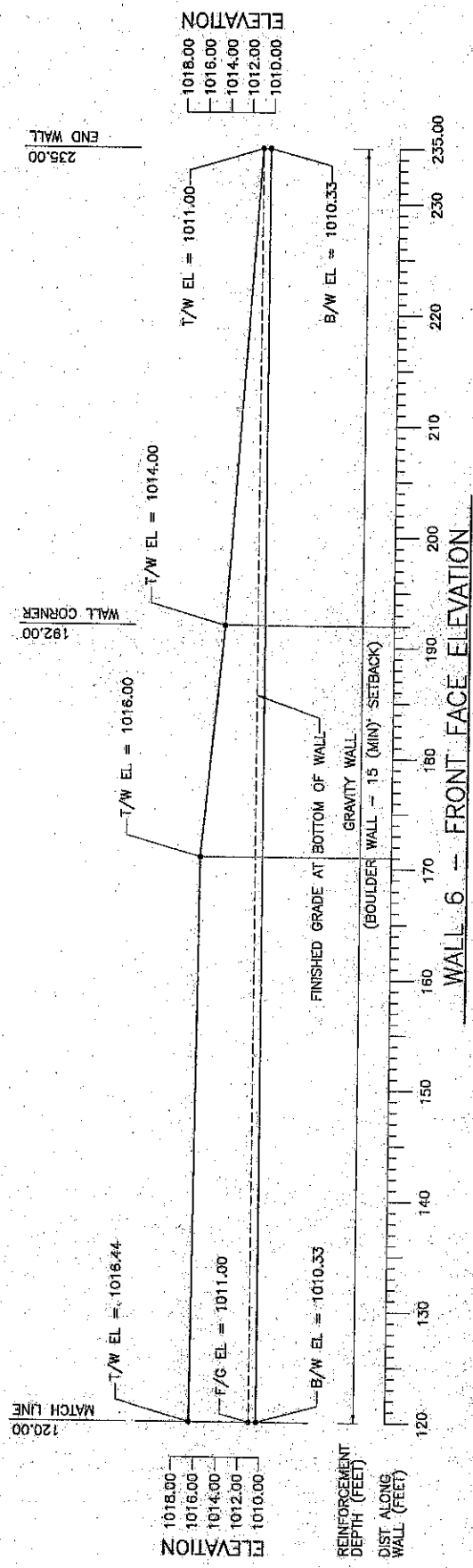
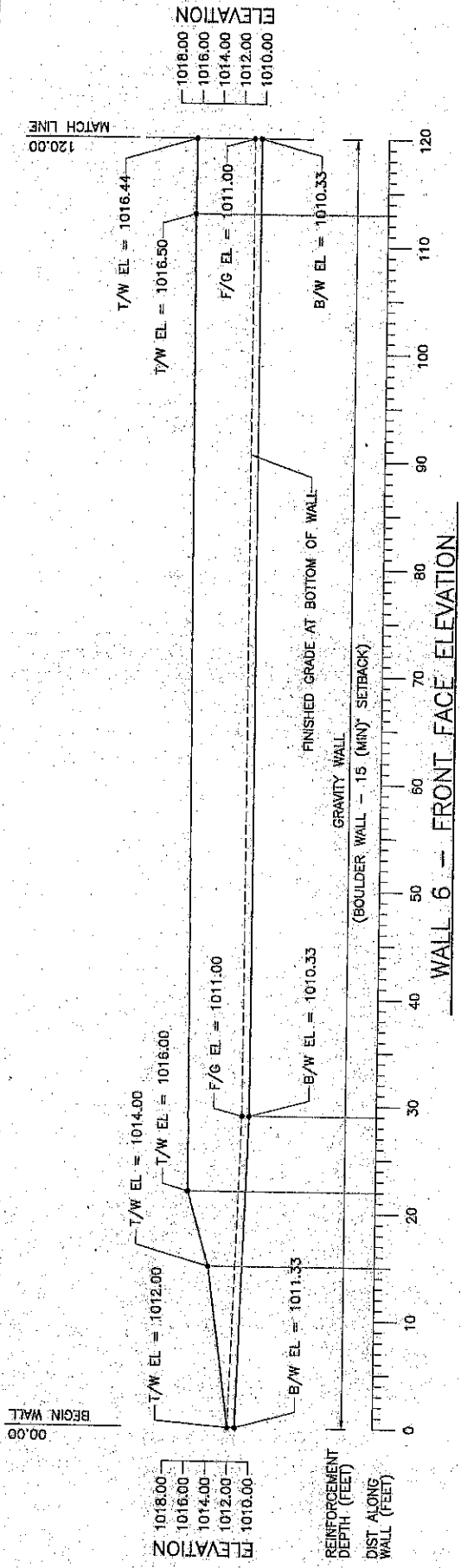
Title: WALL 4 & 5 ELEVATIONS

Registration No:	23493
Project No:	06-479A
Drawing No:	5

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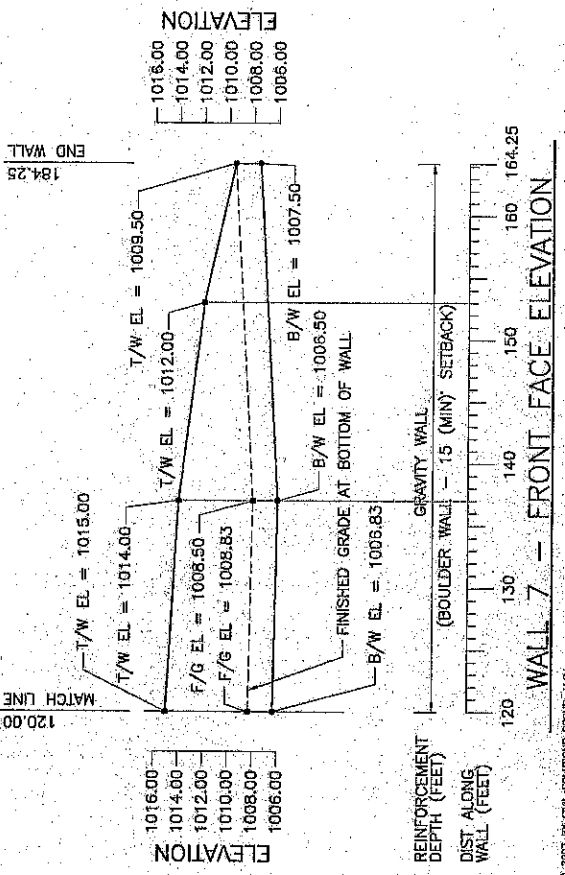
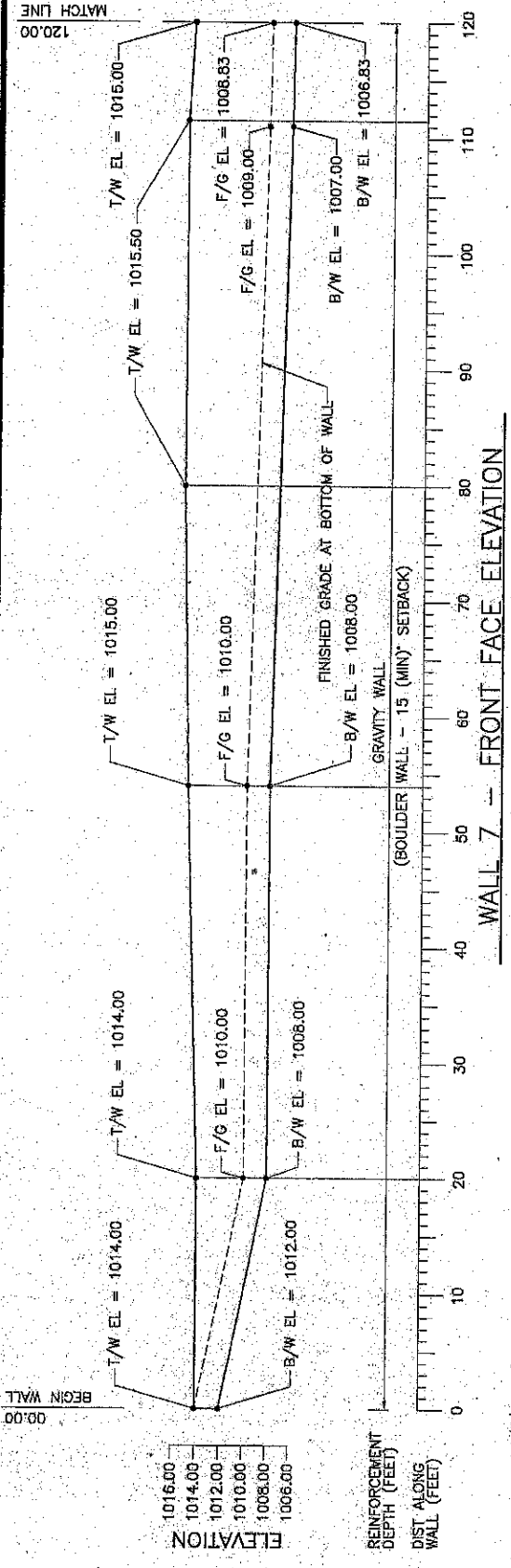
Designed By: SSS  
By: SSS  
Scale: 1" = 10'  
Date: 20 MAR 07

Project: AMBER WOODS OFFICE CENTER  
ORGNO, MN

Registration No: 25493  
Project No: 30-479A  
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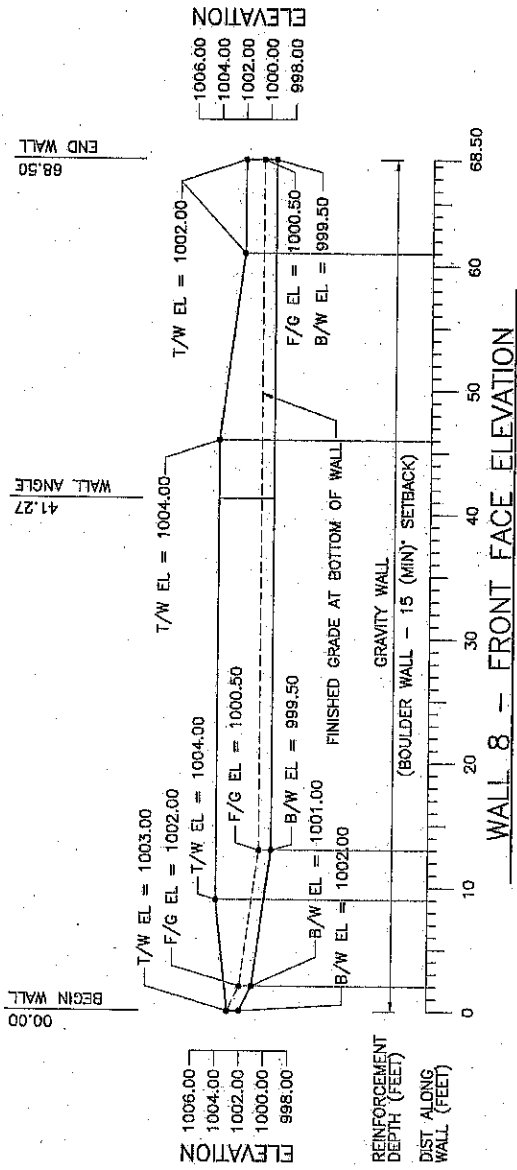
**AMBER WOODS OFFICE CENTER**  
 ORONO, MN

**WALL 7 ELEVATION**

No.	Date	Revision	By	Project	Registration No.
1	5-30-07	GRADE REVISION	SRS	AMBER WOODS OFFICE CENTER ORONO, MN	23455
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					06-479A
					Drawing No.
					7

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Project No: 06-479A	

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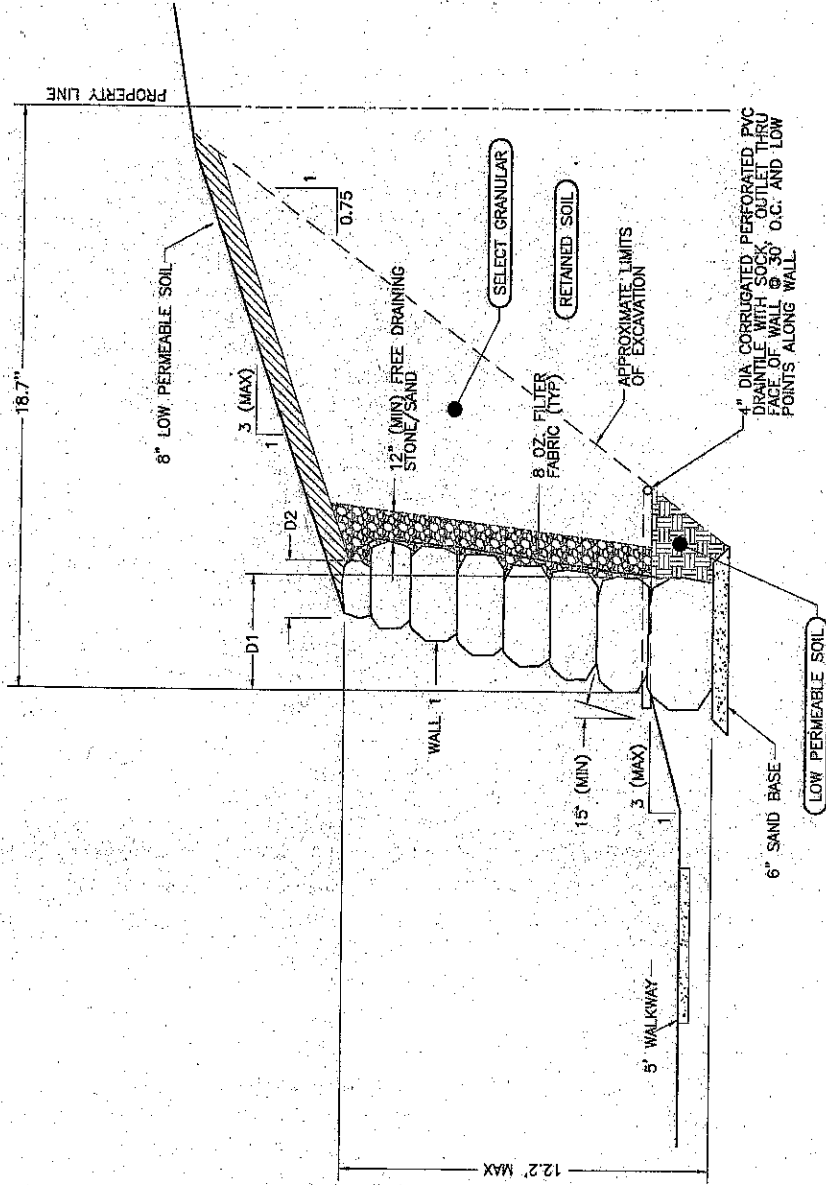
P-88

**NOTES:**

1. THE SECTION SHOWN REPRESENTS TYPICAL CONSTRUCTION FOR THE BOULDER WALLS AT AMBER WOODS OFFICE CENTER.
2. THE MINIMUM BOULDER DEPTH (D) IS A FUNCTION OF THE OVERALL WALL HEIGHT AS SHOWN IN THE BOULDER DEPTH SCHEDULE.
3. THE BOULDERS SHALL BE PLACED TO GRADUALLY DECREASE IN SIZE WITH INCREASING HEIGHT, MAINTAINING THE MINIMUM DEPTH REQUIRED (D) FOR THE OVERALL WALL HEIGHT (H). A SMALLER BOULDER MAY BE USED ON THE TOP BOULDER (D/2) FOR FINISHED GRADING PURPOSES.
4. THE BOULDERS SHALL BE PLACED TO AVOID CONTIGUOUS JOINT PLANES IN VERTICAL OR LATERAL DIRECTIONS. EACH BOULDER SHALL BEAR ON TWO OR MORE ROCKS BELOW IT, WITH GOOD FLAT-TO-FLAT CONTACT.
5. COMPACT ANY STRUCTURAL FILL PLACED BEHIND THE DRAINAGE ZONE IN THE REINFORCED ZONE OF LOWER WALL AND BEHIND DRAINAGE ZONE OF UPPER WALLS TO 95% STANDARD PROCTOR. THE STRUCTURAL FILL SHALL BE AN IMPORTED SELECT GRANULAR MATERIAL.
6. THE WALL EMBEDMENT VARIES FROM 0.67' TO 2.0'.
7. ALL WALLS ARE DESIGNED AS GRAVITY WALLS.  
MINIMUM SAFETY FACTOR FOR OVERTURNING 1.5  
MINIMUM SAFETY FACTOR FOR SLIDING 1.5
8. PLACE A 4" DIA. CORRUGATED PERFORATED PVC DRAINTILE W/ SOCK AT THE FINISHED GRADE OF WALLS AS SHOWN. OUTLET @ 30' O.C. AND LOW POINTS ALONG WALL.

**NOTE:**

- (H) = EXPOSED WALL HEIGHT
- (H) = EXPOSED WALL HEIGHT + EMBEDMENT



**TYPICAL GRAVITY WALL SECTION**  
(WALL 1 SHOWN @ 187')

Registration No.	26493
Project No.	06-479A
Drawing No.	9

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Project	AMBER WOODS OFFICE CENTER ORONO, MN
Designed By	SPS
By	SPS
Date	3-30-07
Revision	GRADE REVISION
Scale	1/4" = 1'-0"
Drawn	SPS
Check	SPS
Date	20 MAR 07

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# Boulder Depth Schedule (Walls 1-8)

WALL HEIGHT (H) MINIMUM BOULDER DEPTH (D):

0-4"	27"
5"	30"
6"	33"
7"	36"
8"	39"
9"	42"
10"	45"
11"	48"
12"	51"
13"	54"

## DRAINAGE STONE SPECIFICATION:

DRAINAGE STONE SHALL CONSIST OF CLEAN 1" MINUS CRUSHED STONE MEETING THE FOLLOWING GRADATION

SIEVE SIZE:	
1"	100
3/4"	75-100
NO. 4	0-10
NO. 50	0-5

FREE DRAINING SAND IS ALSO ACCEPTABLE FOR THE DRAINAGE MATERIAL. IT MUST HAVE <10% FINES PASSING THE NO. 200 SIEVE. ON-SITE MATERIAL IS ACCEPTABLE IF IT MEETS THIS CRITERIA.

## SELECT GRANULAR SPECIFICATIONS

SELECT GRANULAR SHALL BE FREE OF DEBRIS OF ORGANIC MATERIAL MEETING THE FOLLOWING GRADATION:

SIEVE SIZE	
2"	2PASSING
100	100
100-75	100-75
100-20	100-20
0-15	0-15
PLASTICITY INDEX (PI)<6	

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				SSS	ORONO, MN
				N/A	
				SSS	
				20 MAR 07	

Registration No. 25493  
 Project No. 00-479A  
 Drawing No. 10

Professional Engineer and/or Surveyor License No. of the State of Minnesota.  
 Michael R. Johnson, P.E.  
 Date:





R

DATE: 12-18-06
REVISIONS:
1-16-07

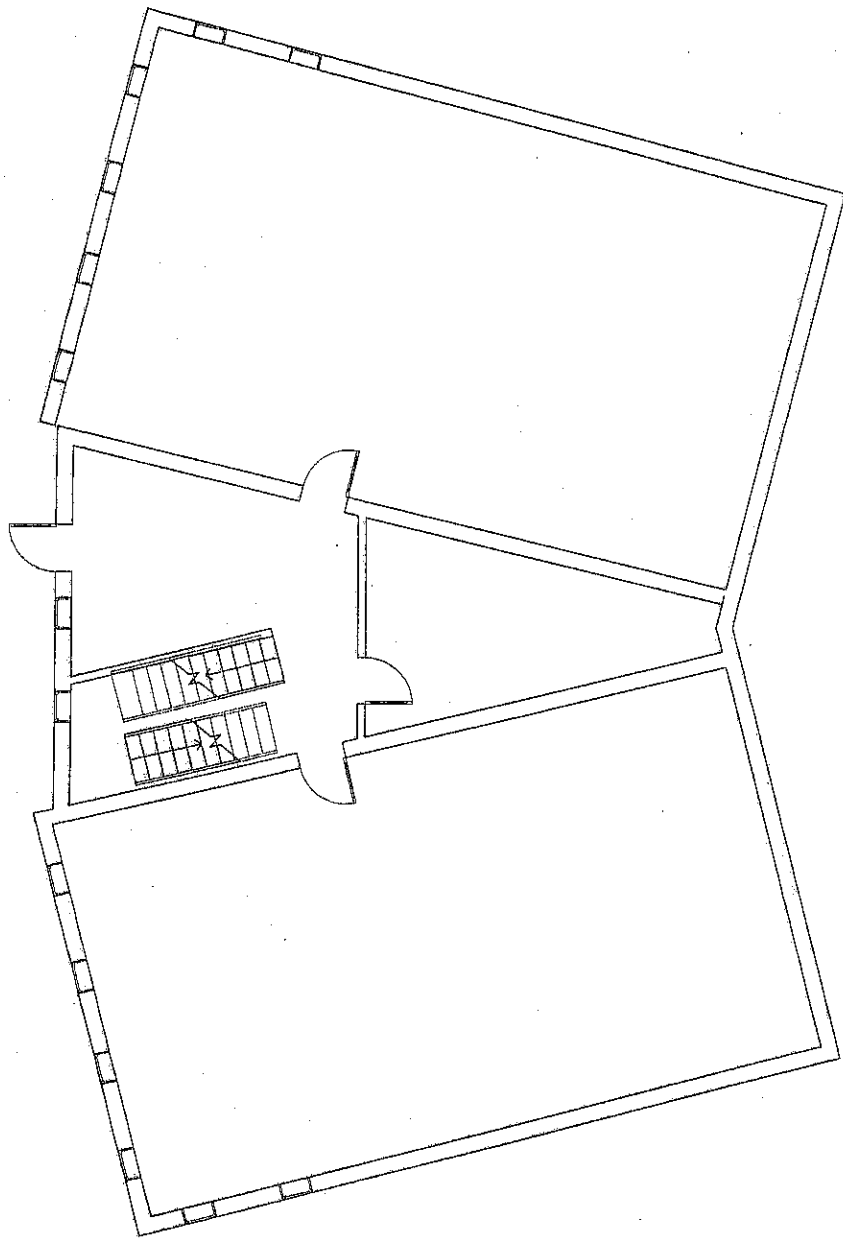
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AMBER WOODS OFFICE CENTRE  
 2050 WEST WAYZATA BLVD.  
 ORONO, MN

JOB NO.

LOWER LEVEL

SHEET NO.  
 A.1  
 OF SHEETS



1 LOWER WALK-OUT LEVEL  
 A.1 SCALE 1/8" = 1'-0"

5

SHEET NO. A.2 OF SHEETS

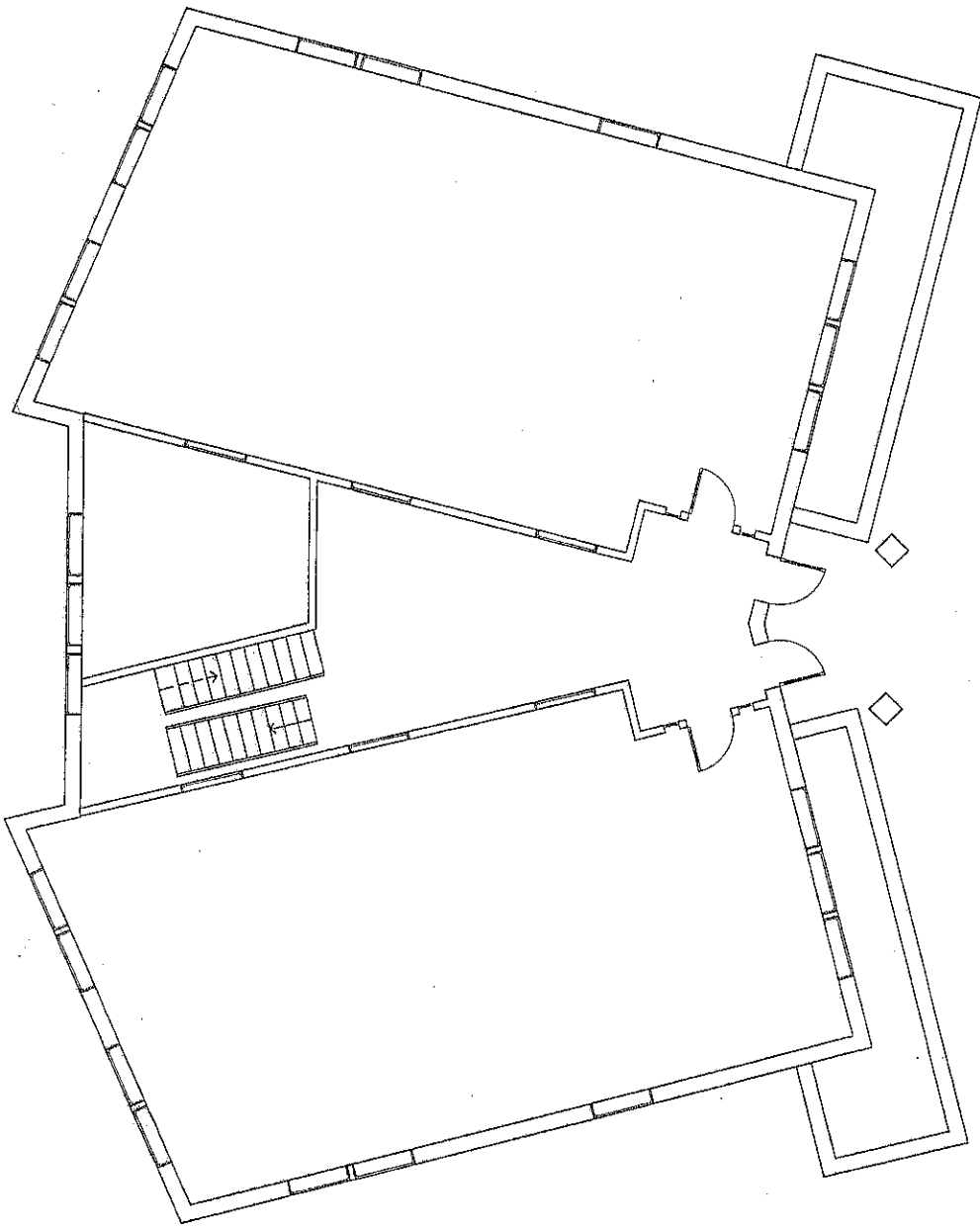
MAIN LEVEL

JOB NO.

AMBER WOODS OFFICE CENTRE  
2090 WEST WAYZATA BLVD.  
ORONO, MN

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DATE: 12-18-06
REVISIONS:
1-18-07



1 MAIN LEVEL  
A.2 SCALE 1/8" = 1'-0"

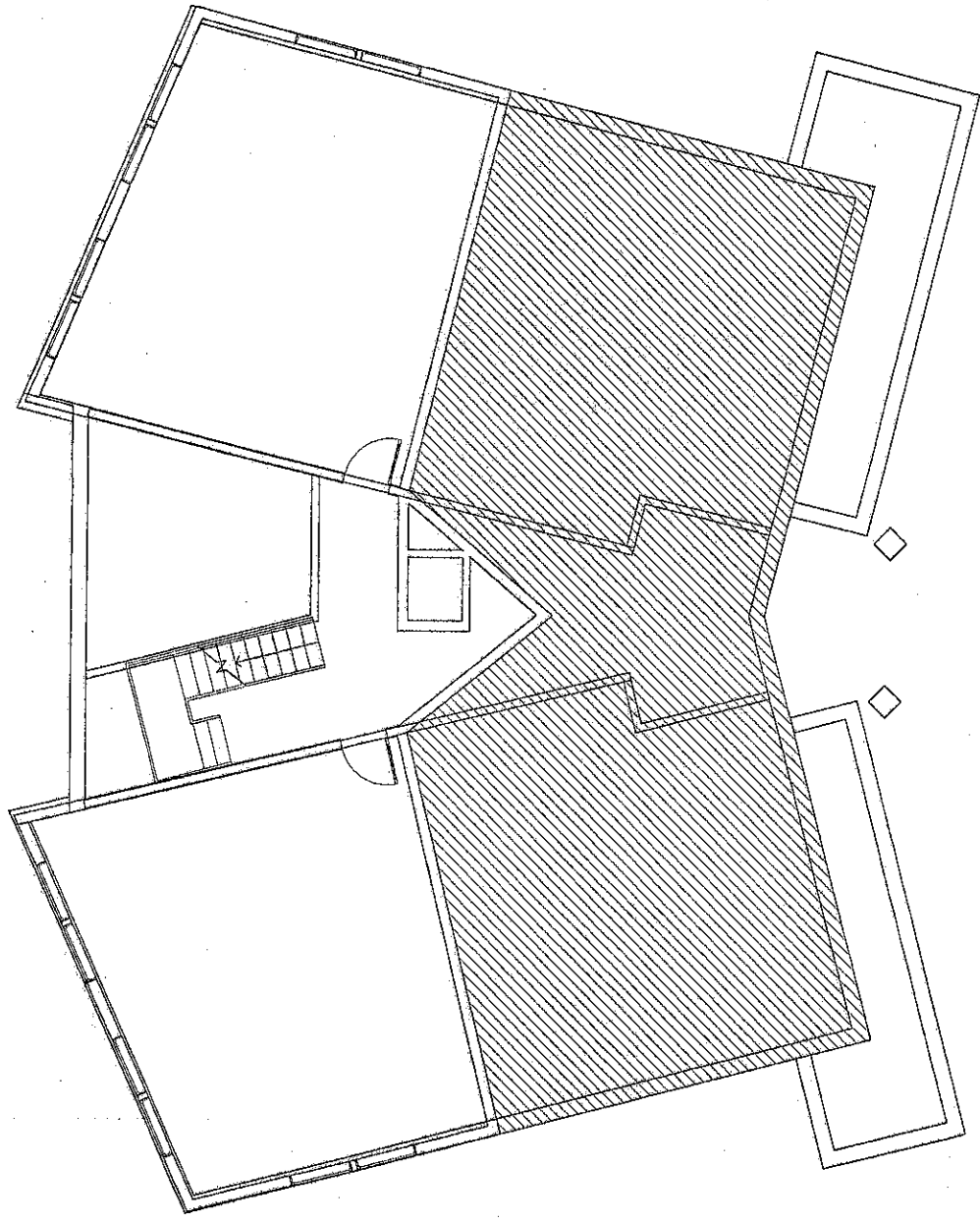
SHEET NO. A.3 OF SHEETS

LOFT LEVEL

AMBER WOODS OFFICE CENTRE  
2060 WEST WAYZATA BLVD.  
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DATE: 12-18-06  
REVISIONS: 1-16-07



1 LOFT LEVEL  
A.3 SCALE 1/8" = 1'-0"

SHEET NO. A.4 OF SHEETS

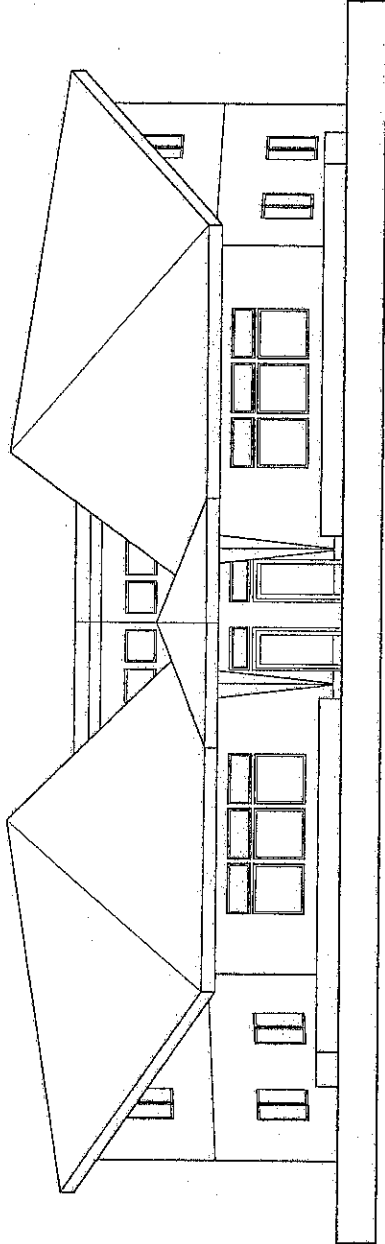
FRONT ELEVATION

JOB NO.

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DATE: 12-18-09  
REVISIONS: 1-19-07



1 FRONT ELEVATION  
SCALE 1/8" = 1'-0"

K

DATE	12-18-06
REVISIONS	1-18-07

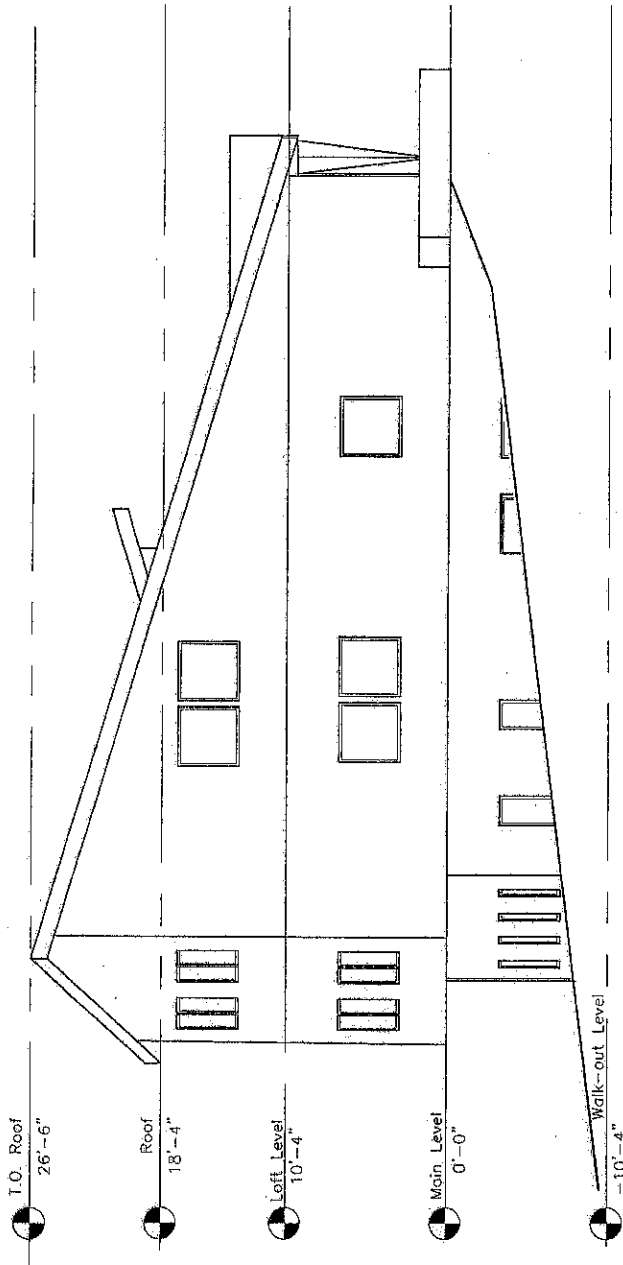
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AMBER WOODS OFFICE CENTRE  
 2060 WEST WAYZATA BLVD.  
 ORONO, MN

JOB NO.

SIDE ELEVATIONS

SHEET NO. A.5  
 OF SHEETS



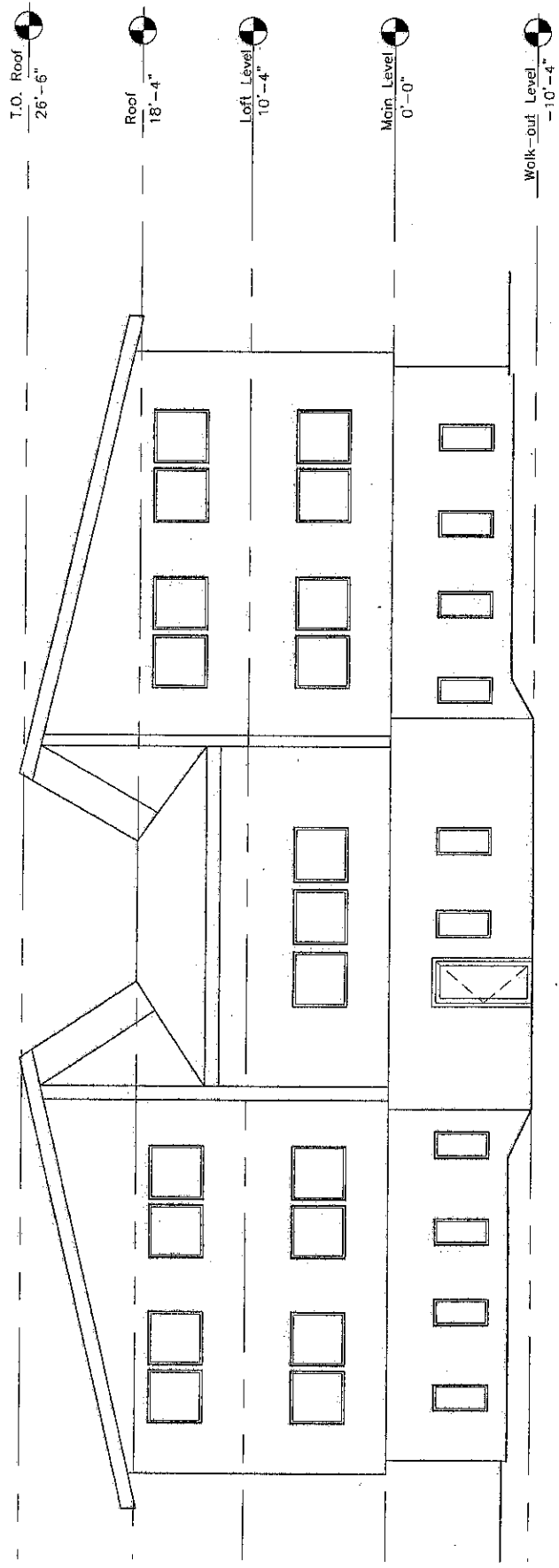
1 SIDE ELEVATIONS  
 A.5 SCALE 1/8" = 1'-0"

SHEET NO.  
A.6  
OF SHEETS

REAR  
ELEVATION

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DATE: 12-18-05  
REVISIONS:  
1-18-07



1 REAR ELEVATION  
A.6  
SCALE 1/8" = 1'-0"

X

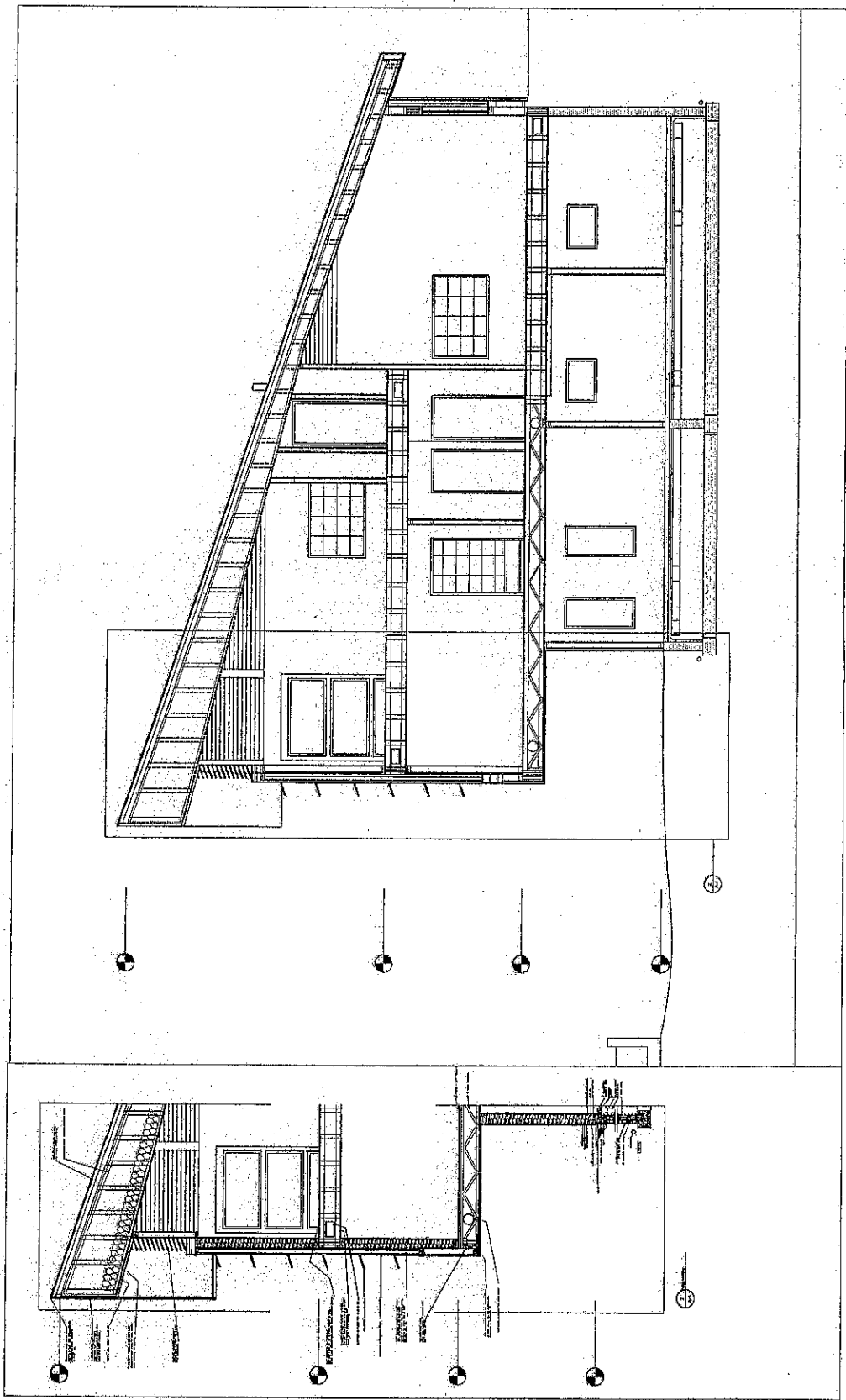
DATE: 12-18-06
REVISIONS:
1-18-07

INTERSPACE-WEST, INC.  
 PO BOX 184, WAYZATA, MN 55981  
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AMBER WOODS OFFICE CENTRE  
 2060 WEST WAYZATA BLVD.  
 ORONG, MN

JOB NO.  
 SECTION

SHEET NO.  
 A.7



1. BUILDING SECTION  
 A.7 SCALE 1/8" = 1'-0"

1. WALL SECTION  
 A.7 SCALE 1/8" = 1'-0"