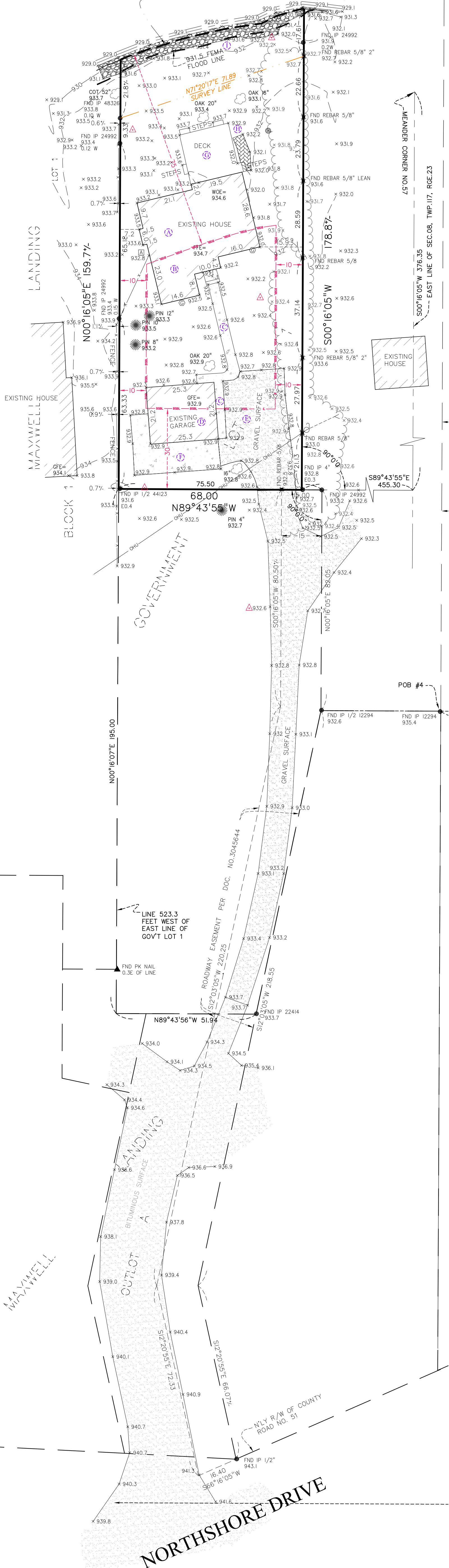


LAKE MINNETONKA
MAXWELL BAY

EDGE OF WATER LOCATED ON 11/07/19
WATER ELEVATION: 929.0± FEET
(NGVD29)

ORDINARY HIGH WATER ELEVATION 929.4 FEET (NGVD29)



DESCRIPTION OF PROPERTY SURVEYED

A certain tract or parcel of land in Hennepin County, in the state of Minnesota, described as follows: That part of Government Lot 1, Section 8, Township 117 North, Range 23 West of the 5th Principal Meridian, Hennepin county, Minnesota, described as follows: Beginning at Meander Corner No. 57 on the south side of Maxwell Bay in the east line of said Section 8; thence South on the east line of said Section 8, 376.35 feet; thence West at right angles 455.3 feet to the actual point of beginning of the tract to be described; thence continuing due West 68 feet; thence due North 160.7 feet more or less to the southerly shore of Maxwell Bay; thence northeasterly along the southerly shore of Maxwell Bay to a point in a line drawn due North from the actual point of beginning; thence due South 183.7 feet more or less to the actual point of beginning. For the purposes of this description the east line of said Section 8 is considered to be a due North and South line. Together with a driveway easement filed as Document NO. 3045644 and easement for water services filed as Document NO. 2838702, Hennepin County, Minnesota.

* The Meander Corner listed in Warranty Deed Doc. No. 10248805 listed as No.17 is incorrect. It should be Meander Corner No.57.
**Document NO. 2838702 does not reflect a water services easement.

STANDARD NOTES

- Site Address:** 3262 North Shore Drive, Orono, MN 55391
- A title opinion was not furnished to the surveyor as part of this survey. Only easements per the recorded plat are shown unless otherwise denoted hereon.
- Flood Zone Information:** X (area determined to be outside of the 0.2% annual chance floodplain) and Zone AE (Areas subject to inundation by the 1-percent-annual-chance flood event determined by detailed methods. Base Flood Elevations (BFEs) are shown. Mandatory flood insurance purchase requirements and floodplain management standards apply.) per Flood Insurance Rate Map, Community Panel No. 27053C0303F, effective date of November 4, 2016.
- Parcel Area Information:** Gross Area: 11,540± s.f. ~ 0.265± acres (as measured to Ordinary High Water line)
- Benchmark:** Elevations are based on MN/DOT Geodetic Station Name: 2713F which has an elevation of: 979.61feet (NGVD29).
- Zoning Information:** The current Zoning for the subject property is LR-1C-1 (One Family Lakeshore Residential Subdistrict - ½ acre) per the City of Orono's zoning map dated November 2018.

Principal Structure Setbacks - Street(s): 30 feet (North Shore Drive)
Side: 10 feet
Lake: 75 feet (From Ordinary High Water Line) + Average Line Setback
Height: 30 feet
Hardcover: 25 percent of lot area

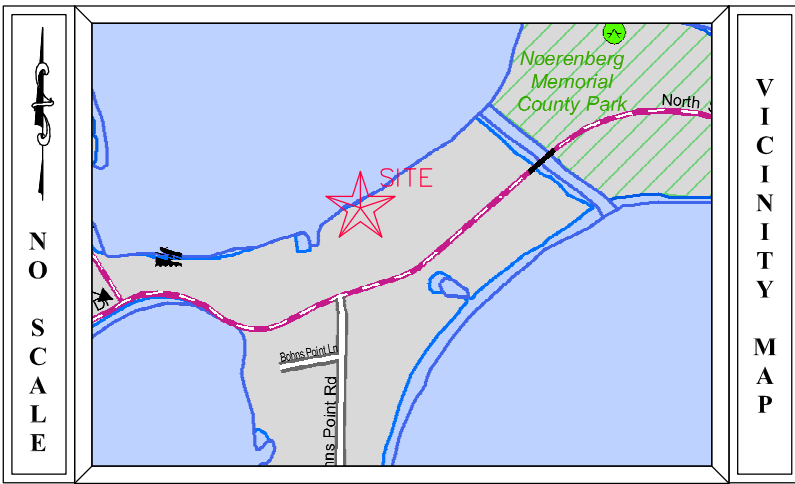
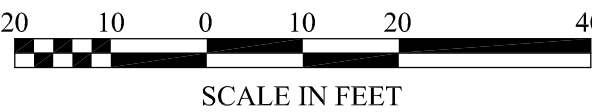
Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by designers, architect or the likes.

We have not received the current zoning classification and building setback requirements from the insurer.

- Utilities:** We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercise before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002.
- No title commitment was provided for this survey.



Bearings are based on the Hennepin County
Coordinate System (NAD 83 - 1986 adj.)



SURVEY LEGEND

● CAST IRON MONUMENT	⊕ PIEZOMETER	WOE WALKOUT ELEVATION
● IRON PIPE MONUMENT SET	⊖ POWER POLE	FFE FIRST FLOOR ELEVATION
● IRON PIPE MONUMENT FOUND	⊖ GUY WIRE	GFE GARAGE FLOOR ELEVATION
⊖ DRILL HOLE FOUND	⊖ ROOF DRAIN	TOF TOP OF FOUNDATION ELEV.
⊖ CHISELED "X" MONUMENT SET	⊖ LIFT STATION	LOE LOWEST OPENING ELEV.
⊖ CHISELED "X" MONUMENT FOUND	⊖ SANITARY MANHOLE	CONCRETE
⊖ REBAR MONUMENT FOUND	⊖ SANITARY CLEANOUT	BITUMINOUS
⊖ PK NAIL MONUMENT SET	⊖ STORM MANHOLE	BUILDING SETBACK LINE
⊖ PK NAIL MONUMENT FOUND	⊖ STORM DRAIN	CABLE TV
⊖ PK NAIL W/ ALUMINUM DISC	⊖ CATCH BASIN	CONCRETE CURB
⊖ SURVEY CONTROL POINT	⊖ FLARED END SECTION	CONTOUR EXISTING
⊖ A/C UNIT	⊖ TREE CONIFEROUS	CONTOUR PROPOSED
⊖ CABLE TV PEDESTAL	⊖ TREE DECIDUOUS	GUARD RAIL
⊖ ELECTRIC TRANSFORMER	⊖ TREE CONIFEROUS REMOVED	RAILROAD SIGNAL
⊖ ELECTRIC MANHOLE	⊖ TREE DECIDUOUS REMOVED	ELECTRIC UNDERGROUND
⊖ ELECTRIC METER	⊖ TELEPHONE MANHOLE	FENCE
⊖ ELECTRIC OUTLET	⊖ UTILITY MANHOLE	FIBER OPTIC UNDERGROUND
⊖ YARD LIGHT	⊖ UTILITY PEDESTAL	GAS UNDERGROUND
⊖ LIGHT POLE	⊖ UTILITY VAULT	OVERHEAD UTILITY
⊖ FIBER OPTIC MANHOLE	⊖ WATER MAIN MANHOLE	TREE LINE
⊖ FIRE DEPT. HOOK UP	⊖ WATER METER	SANITARY SEWER
⊖ FLAG POLE	⊖ WATER SPIGOT	STORM SEWER
⊖ FUEL PUMP	⊖ WELL	TELEPHONE UNDERGROUND
⊖ PROPANE TANK	⊖ MONITORING WELL	RETAINING WALL
⊖ GAS METER	⊖ CURB STOP	UTILITY UNDERGROUND
⊖ GAS VALVE	⊖ GATE VALVE	WATERMAIN
⊖ GAS MANHOLE	⊖ HYDRANT	TRAFFIC SIGNAL
⊖ GENERATOR	⊖ IRRIGATION VALVE	RAILROAD TRACKS
⊖ GUARD POST	⊖ POST INDICATOR VALVE	RAILROAD SWITCH
⊖ HAND HOLE	⊖ SIGN	SATELLITE DISH
⊖ MAIL BOX	⊖ SOIL BORING	WETLAND BUFFER SIGN

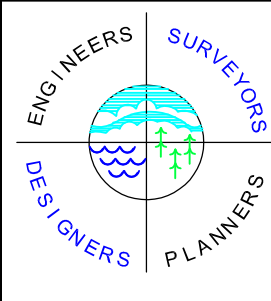
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date this 20th day of November, 2019.

David B. Pemberton, PLS
pemberton@sathre.com
Minnesota License No. 40344

FIELD CREW	NO.	BY	DATE	REVISION
Lake				
DRAWN				
DBP				
CHECKED				
EJW				
DATE				
11/20/19				

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SATHRE-BERGQUIST INC.
150 SOUTH BROADWAY
WAYZATA, MN. 55391
(952) 476-6000

TWP:117-RGE.23-SEC.08
Hennepin County

**ORONO,
MINNESOTA**

CERTIFICATE OF SURVEY

PREPARED FOR:
ALMA HOMES, INC.

FILE NO.
37750-008

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